

PUBLIC NOTICE

NOTICE IS HEREBY GIVEN THAT the Tooele City Planning Commission will meet in a business meeting scheduled for **Wednesday, January 8, 2025** at the hour of 7:00 p.m. The meeting will be held in the City Council Chambers of Tooele City Hall, located at 90 North Main Street, Tooele, Utah.

*We encourage anyone interested to join the Planning Commission meeting electronically through Tooele City's YouTube channel by logging onto www.youtube.com/@tooelecitey or searching for our YouTube handle **@tooelecitey**. If you would like to submit a comment for any public hearing item you may email pcpubliccomment@tooelecitey.gov any time after the advertisement of this agenda and before the close of the hearing for that item during the meeting. Emails will only be read for public hearing items at the designated points in the meeting.*

AGENDA

1. **Pledge of Allegiance**
2. **Roll Call**
3. **Public Hearing and Decision** on a Conditional Use Permit request to consider an Accessory Drive Through Facility by Hoot Owl Leasing, LLC/C&G Construction Retail Stores, located at approximately 35 S. Tooele Blvd. in the Light Industrial (LI) Zoning District.
4. **Decision** on a Preliminary Subdivision Plan request by Dave Irving representing Buidling Dynamics to create 8 town house style residential lots at the south west corner of 1200 North 680 West in the MR-16 Multi-Family Residential zone on 1.29 acres.
5. **Decision** on a Multi-Family Residential Site Plan request by Dave Irving representing Building Dynamics to approve Lex Townhomes Lot 106 at the south west corner of 1200 North and 680 West in the MR-16 Multi-Family Residential zone on 1.29 acres.
6. **City Council Reports**
7. **Review and Decision** – Minutes of the Planning Commission meeting held December 11, 2024
8. **Planning Commission Training** – Powers and Duties.
9. **Adjourn**

Pursuant to the Americans with Disabilities Act, individuals needing special accommodations during this meeting should notify Kent Page, Tooele City Planner prior to the meeting at (435) 843-2132.

STAFF REPORT

January 8, 2025

To: Tooele City Planning Commission
Business Date: January 8, 2025

From: Planning Division
Community Development Department

Prepared By: Kent Page, City Planner / Zoning Administrator

Re: C&G Construction Retail Stores – CUP Request

Application No.: 2024070
Applicant: C&G Construction Retail Stores; Contact: Brock Griffith
Property Owner: Hoot Owl Leasing LLC
Project Location: 46 S. Tooele Blvd.
Zoning: LI (Light Industrial)
Acreage: 6.72
Request: Request for approval of a CUP in the LI zone regarding an accessory drive through facility.

BACKGROUND

This application found in Exhibit A is a request for approval of a CUP for approximately 6.72 acres located at 46 S. Tooele Blvd. The property is currently zoned LI, Light Industrial. (see Exhibit B) The applicant is requesting that a CUP be approved to allow for the development of an accessory drive through facility for the north unit in the site plan shown in Exhibit C.

ANALYSIS

General Plan and Zoning. The Land Use Map of the General Plan calls for the Light Industrial Land Use designation for the subject property. The purpose of the Light Industrial Land Use category is:

Provide areas for lower-impact industrial uses, service-oriented uses that present the possibility for more intense or impactful effects on neighboring properties than would be expected in a more traditional commercial areas, and support facilities for heavier industrial uses. Light Industrial areas can also provide buffers between more intensive and nuisance-producing industrial uses and surrounding non-industrial uses. Where these areas border other land uses, especially residential, care must be given to provide adequate buffers in the form of setbacks, open space, uses which do not produce nuisances to surrounding uses, etc.

The property has been assigned the LI, Light Industrial zoning classification. The purpose of the LI (Light Industrial) zone is:

to provide locations for light industrial assembly and manufacturing uses that produce no appreciable negative impact to adjacent properties. This District encourages clean, light industrial and manufacturing uses which provide employment opportunities for city residents, strengthen the city's tax base and diversify the local economy.

Properties assigned the LI Light Industrial zoning classification surround the subject property to the north, east, south, and west; however, kiddy-corner to the northeast is RR-1 zoning. (Exhibit B)

Site Plan Layout. The applicant has submitted a site plan showing the layout and dimensions of the drive through and vehicle tracking in Exhibit C and Exhibit D. The Site Plan is currently under review in a separate application. The overall size of the current lot is 6.72 acres. The length of the drive through is substantial; staff does not anticipate the drive through causing traffic congestion on or off-site.

Criteria For Approval. The criteria for review and potential approval of a Conditional Use Permit request is found in Sections 7-5-3(3) and (4) of the Tooele City Code. This section depicts the standard of review for such requests as:

- (1) Procedure. At the public hearing, testimony may be given by the applicant and all other persons either in support of or in opposition to the application. The Planning Commission may take the application under advisement, but shall render its determination within 30 days of the date of the hearing.
- (2) Approval. The Planning Commission shall approve the conditional use application if reasonable conditions are proposed, or can be imposed, to mitigate the reasonably anticipated detrimental effects of the proposed use. If the reasonably anticipated detrimental effects of a proposed conditional use cannot be substantially mitigated by the proposal or the imposition of reasonable conditions to achieve compliance with applicable standards, the conditional use may be denied.

Findings of Fact. As a part of the approval or denial of a Conditional Use Permit a finding of fact according to Sections 7-5-4 of the Tooele City Code is required. This section depicts the standard for findings of fact:

Prior to approving or denying a Conditional Use Permit application, the Planning Commission shall make, in the business meeting at which the public hearing is conducted or the permit is approved or denied, a finding of the following facts:

- (1) the reasonably anticipated detrimental effects of the proposed use upon adjacent and nearby persons and properties;
- (2) the evidence identified regarding the identified reasonably anticipated detrimental effects of the proposed use;
- (3) the reasonable conditions imposed, as part of the Conditional Use Permit approval, intended to mitigate the reasonably anticipated detrimental effects of the proposed use;
- (4) the reasons why the imposed conditions are anticipated or hoped to mitigate the reasonably anticipated detrimental effects of the proposed use;
- (5) the evidence, if any, identified regarding the ability of the imposed conditions to mitigate the reasonably anticipated detrimental effects of the proposed use.

In response to the City Code requirement for findings of fact, staff does not anticipate any negative effects of this drive through on or off-site besides the possible, yet unlikely, headlight irritation to south bound traffic along Tooele Blvd.

REVIEWS

Planning Division Review. The Tooele City Planning Division has completed their review of the CUP submission and has issued a recommendation for approval for the request with the following proposed condition to mitigate the anticipated detrimental effects identified in the findings of fact:

1. The applicant will demonstrate that headlights from vehicles in the drive through will not be irritating to south bound drivers on Tooele Blvd. or that headlights from vehicles in the drive through will be effectively screened to not cause an irritation to south bound drivers on Tooele

Blvd.

STAFF RECOMMENDATION

Staff recommends approval of the request for a CUP to Brock Griffith representing C&G Construction Retail Stores, application number 2024070, subject to the following conditions:

1. The applicant demonstrates that headlights from vehicles in the drive through will not be an irritation to south bound drivers on Tooele Blvd. or that headlights from vehicles in the drive through will be effectively screened to not cause an irritation to south bound drivers on Tooele Blvd.

This recommendation is based on the following findings:

1. The proposed development plans meet the intent, goals, and objectives of the Master Plan.
2. The proposed development plans meet the intent, goals, and objectives of the Tooele City General Plan.
3. The proposed development plans meet the requirements and provisions of the Tooele City Code.
4. The proposed development plans will not be deleterious to the health, safety, and general welfare of the general public nor the residents of adjacent properties.
5. The proposed development conforms to the general aesthetic and physical development of the area.
6. The public services in the area are adequate to support the subject development.
7. The findings of fact for this proposed Conditional Use Permit request have been identified and the conditions proposed are intended to mitigate the reasonably anticipated detrimental impacts, as required by Tooele City Code Section 7-5-4.

MODEL MOTIONS

Sample Motion for Approval – “I move we approve the CUP Request by Brock Griffith, representing C&G Construction Retail Stores for an accessory drive through facility, application number 2024070, based on the findings and subject to the following conditions:

1. The applicant demonstrates that headlights from vehicles in the drive through will not be an irritation to south bound drivers on Tooele Blvd. or that headlights from vehicles in the drive through will be effectively screened to not cause an irritation to south bound drivers on Tooele Blvd.
2. List any additional findings of fact and conditions...

Sample Motion for Denial – “I move we deny the CUP Request by Brock Griffith, representing C&G Construction Retail Stores for an accessory drive through facility, application number 2024070, based on the following findings:”

1. The length of the drive through and the length and configuration of the site can reasonably impede pedestrian and vehicular traffic flow on the site, and/or adjacent site, and/or public streets.
2. Headlights from drive through vehicles irritating south bound drivers cannot be mitigated.
3. List any additional findings of fact ...

EXHIBIT A

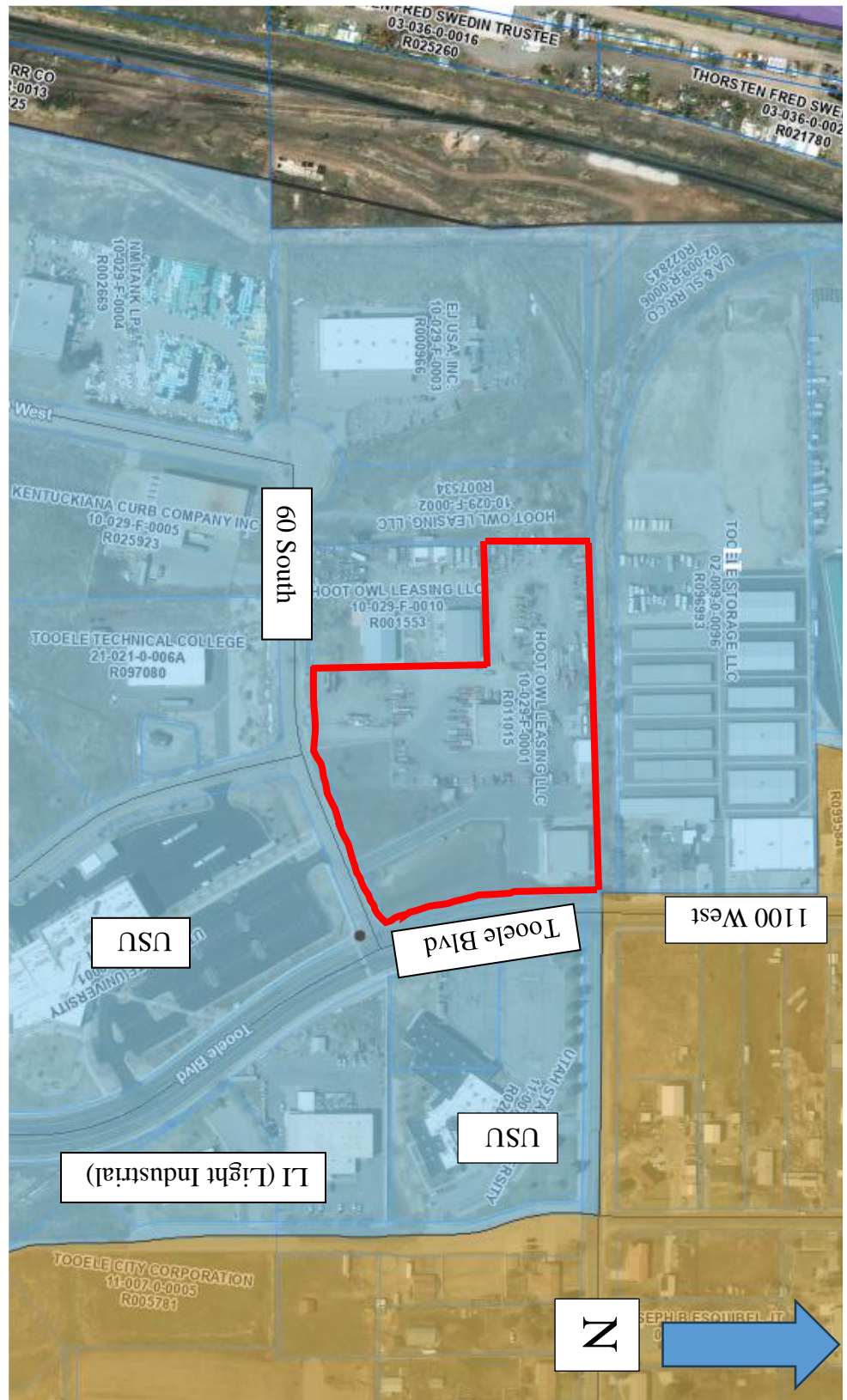
Conditional Use Permit Application

Community Development Department
 90 North Main Street, Tooele, UT 84074
 (435) 843-2132 Fax (435) 843-2139
www.tooelecity.gov



Notice: The applicant must submit copies of the pertinent plans and documents to be reviewed by the City in accordance with the terms of the Tooele City Code. All submitted Conditional Use Permit applications shall be reviewed in accordance with all applicable City ordinances and requirements, are subject to compliance reviews by various City departments, and may be returned to the applicant for revision if the plans are found to be inadequate or inconsistent with the requirements of the City Code. Application submission in no way guarantees placement of the application on any particular agenda of any City reviewing body. It is **strongly** advised that all checklist items be submitted well in advance of any anticipated deadlines.

Project Information					2024070				
Date of Submission: 12-10-2024		Current Zoning: Light Industrial		Parcel #(s): 10-029-F-0001					
Project Name: C&G Construction Retail Stores						Acres: 1.06			
Project Address: 46 South Tooele Boulevard						Units: 6			
Project Description:									
North Unit has a drive thru window									
Current Use of Property:									
Vacant									
Property Owner(s): Chad Griffith				Applicant(s): Chad Griffith					
Address: 30 South Tooele Boulevard				Address: 30 South Tooele Boulevard					
City: Tooele		State: UT	Zip: 84074		City: Tooele		State: UT	Zip: 84074	
Phone: 801-580-3375				Phone: 801-580-3375					
Contact Person: Chad Griffith				Address: 30 South Tooele Boulevard					
Phone: 801-580-3375				City: Tooele		State: UT	Zip: 84074		
Cellular: 801-580-3375		Fax:			Email: chad@cgconst.com				
Signature of Applicant:									
Date									



ZONING
EXHIBIT B

EXHIBIT C
SITE PLAN

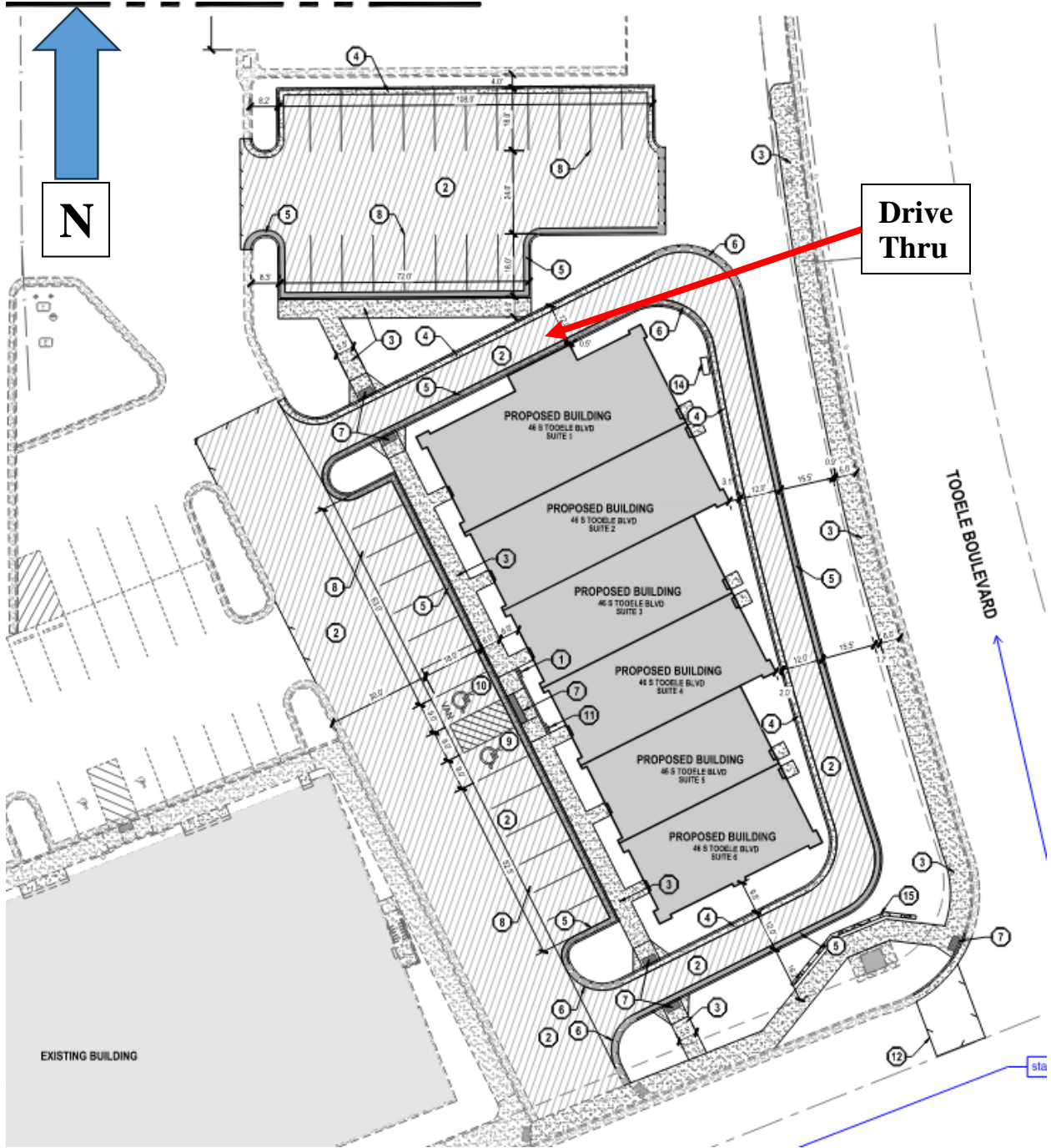
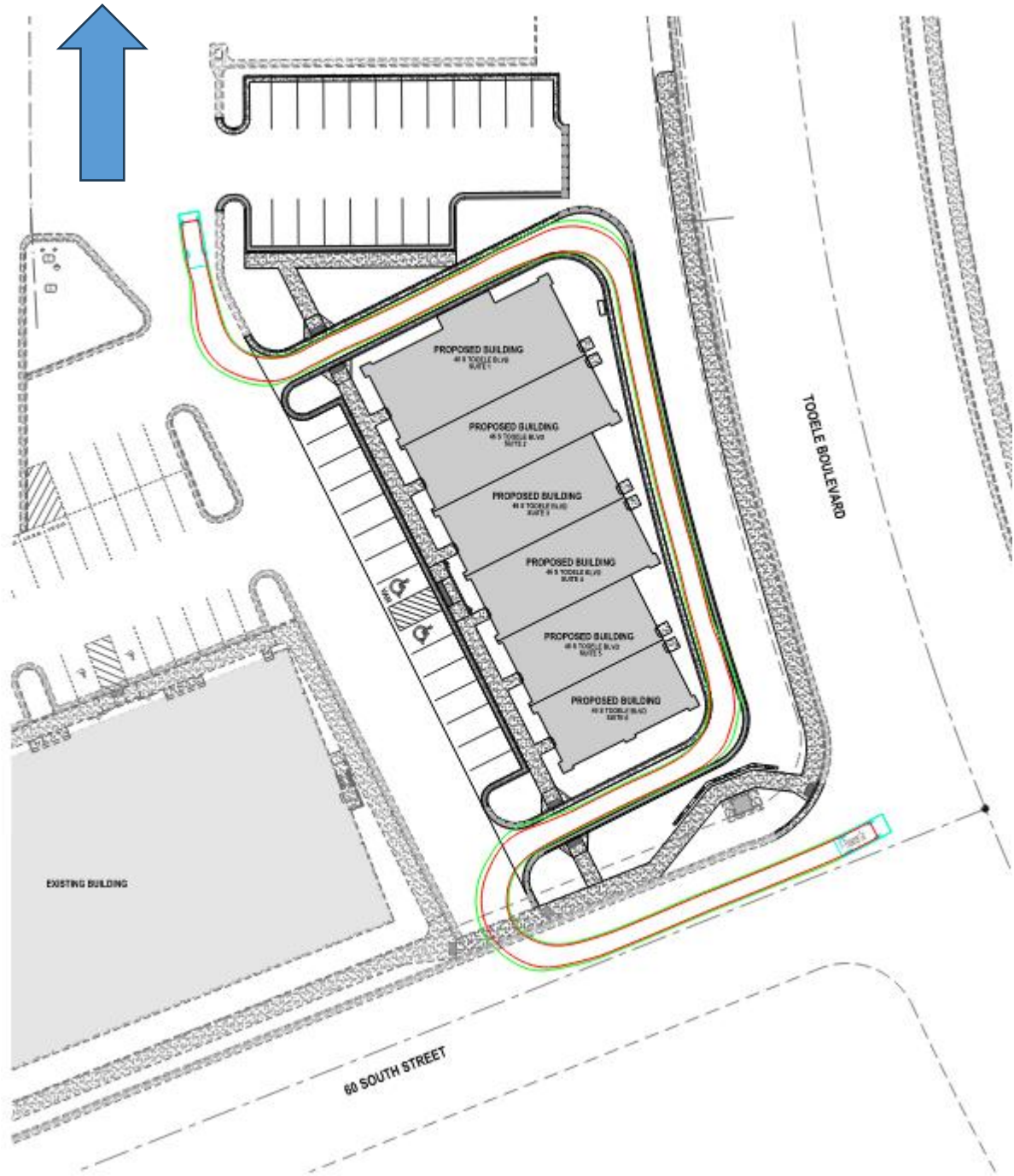


EXHIBIT D
VEHICLE TRACKING ANALYSIS



STAFF REPORT
December 31, 2024

To: Tooele City Planning Commission
Business Date: January 8, 2025

From: Planning Division
Community Development Department

Prepared By: Andrew Aagard, City Planner / Zoning Administrator

Re: **Lex Townhomes Lot 106 – Preliminary Subdivision Plan Request**

Application No.: 2024052
Applicant: Dave Irving, representing Building Dynamics
Project Location: 1255 North 680 West
Zoning: MR-16 Multi-Family Residential Zone
Acreage: 1.29 Acres (Approximately 56,192 ft²)
Request: Request for approval of a Preliminary Subdivision Plan in the MR-16 Multi-Family Residential zone regarding the creation of 8 town house style residential lots.

BACKGROUND

This application is a request for approval of a Preliminary Subdivision Plan for approximately 1.29 acres located at approximately 1255 North 680 West. The property is currently zoned MR-16 Multi-Family Residential. The applicant is requesting that a Preliminary Subdivision Plan be approved to allow for the development of the currently vacant site into eight town homes, associated limited common areas and common areas.

ANALYSIS

General Plan and Zoning. The Land Use Map of the General Plan calls for the High Density Residential land use designation for the subject property. The property has been assigned the MR-16 Multi-Family Residential zoning classification, supporting approximately 16 dwelling units per acre. The purpose of the MR-16 The MR-16 Multi-Family Residential zoning designation is identified by the General Plan as a preferred zoning classification for the High Density Residential land use designation. Properties to the north and to the east are zoned MR-16 Multi-Family Residential. Property to the west is zoned R1-7 Residential and property to the south is zoned NC Neighborhood Commercial. Properties to the west and to the south are currently vacant, undeveloped land. Mapping pertinent to the subject request can be found in Exhibit “A” to this report.

Site Plan Layout. A site plan application has been submitted by the applicant and has been reviewed independently of the subdivision. The site plan will be reviewed on the same agenda as the preliminary subdivision plan. However, the subdivision plan pertains primarily to the creation of the lots where the site plan delves deeper into the construction of the units and site.

Subdivision Layout. The proposed subdivision will subdivide the parcel at the south west corner of 1200 North and 680 West. The proposal would create 8 individual lots that will reflect the approximate footprint of a town house dwelling unit to be constructed above. Each lot will contain approximately 1349 square feet, be 25 feet wide and will have direct access onto 680 West. Each individual lot will be

privately owned and maintained. The MR-16 Zoning code does not place restrictions on lot size minimums or lot configurations in order to facilitate and accomplish the private ownership of town homes, therefore, each lot as proposed is in compliance with the MR-16 zoning code in regards to lot sizes.

The proposed plat also creates three parcels of land. Parcel A is an area that will incorporate individual driveway and drive approaches for each unit. This area would be interpreted as a limited common area, an area that is owned by the development HOA but limits who can use these areas. Parcel B is a storm water detention basin that will owned and maintained by the development HOA. Parcel C is common area that will be open space to be used by the residents of the development and will be owned and maintained by the development HOA.

Criteria For Approval. The procedure for approval or denial of a Subdivision Preliminary Plat request, as well as the information required to be submitted for review as a complete application is found in Sections 7-19-8 and 9 of the Tooele City Code.

REVIEWS

Planning Division Review. The Tooele City Planning Division has completed their review of the Preliminary Subdivision Plan submission and has issued a recommendation for approval for the request.

Engineering & Public Works Review. The Tooele City Engineering and Public Works Divisions have completed their reviews of the Preliminary Subdivision Plan submission and have issued a recommendation for approval for the request.

Tooele City Fire Department Review. The Tooele City Fire Department has completed their review of the Preliminary Subdivision Plan submission and has issued a recommendation for approval for the request.

STAFF RECOMMENDATION

Staff recommends approval of the request for a Preliminary Subdivision Plan by Dave Irving, representing Building Dynamics, application number 2024052, subject to the following conditions:

1. That all requirements of the Tooele City Engineering and Public Works Divisions shall be satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
2. That all requirements of the Tooele City Building Division shall be satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
3. That all requirements of the Tooele City Fire Department shall be satisfied throughout the development of the site and the construction of all buildings on the site.
4. That all requirements of the geotechnical report shall be satisfied throughout the development of the site and the construction of all buildings on the site.

This recommendation is based on the following findings:

1. The proposed development plans meet the intent, goals, and objectives of the Tooele City General Plan.
2. The proposed development plans meet the requirements and provisions of the Tooele City Code.
3. The proposed development plans will not be deleterious to the health, safety, and general

- welfare of the general public nor the residents of adjacent properties.
4. The proposed development conforms to the general aesthetic and physical development of the area.
 5. The public services in the area are adequate to support the subject development.
 6. The subdivision as proposed meets or exceeds all standards and requirements as set forth by the MR-16 Multi-Family Residential zoning code regarding lots.

MODEL MOTIONS

Sample Motion for Approval – “I move we approve the Preliminary Subdivision Plan Request by Dave Irving, representing Building Dynamics for the Lex Townhomes Lot 106 Preliminary Subdivision Plan, application number 2024052, based on the findings and subject to the conditions listed in the Staff Report dated December 31, 2024:”

1. List any additional findings and conditions...

Sample Motion for Denial – “I move we deny the Preliminary Subdivision Plan Request by Dave Irving, representing Building Dynamics for the Lex Townhomes Lot 106 Preliminary Subdivision Plan, application number 2024052, based on the following findings:”

1. List findings...

EXHIBIT A

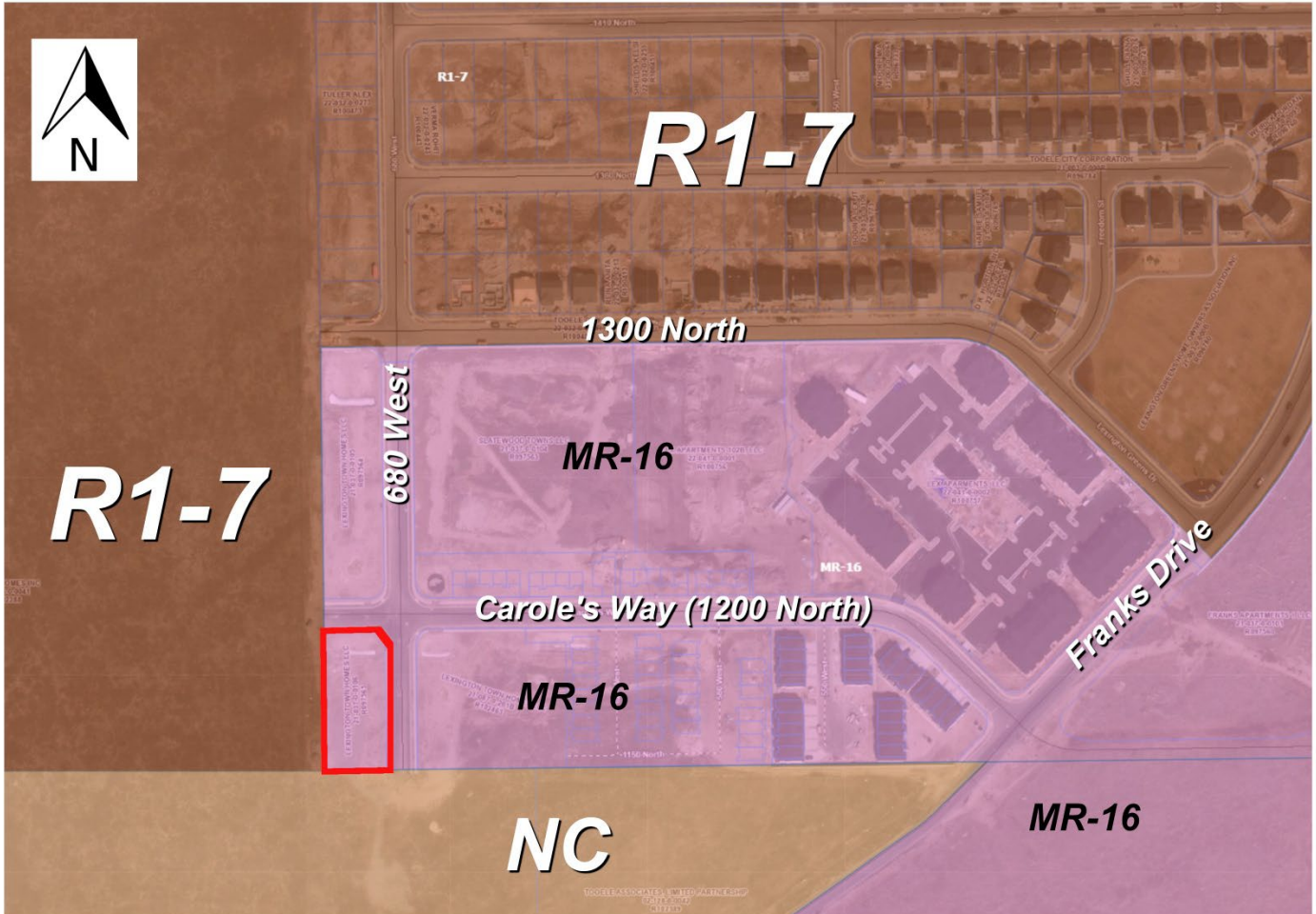
**MAPPING PERTINENT TO THE LEX TOWNHOMES LOT 106 PRELIMINARY
SUBDIVISION PLAN**

Lex Townhomes Lot 106 Preliminary Subdivision Plan



Aerial View

Lex Townhomes Lot 106 Preliminary Subdivision Plan



Current Zoning

EXHIBIT B

**PROPOSED DEVELOPMENT PLANS
APPLICANT SUBMITTED INFORMATION**

Subdivision – Plat Amendment Application

Community Development Department
 90 North Main Street, Tooele, UT 84074
 (435) 843-2132 Fax (435) 843-2139
www.tooelecity.gov



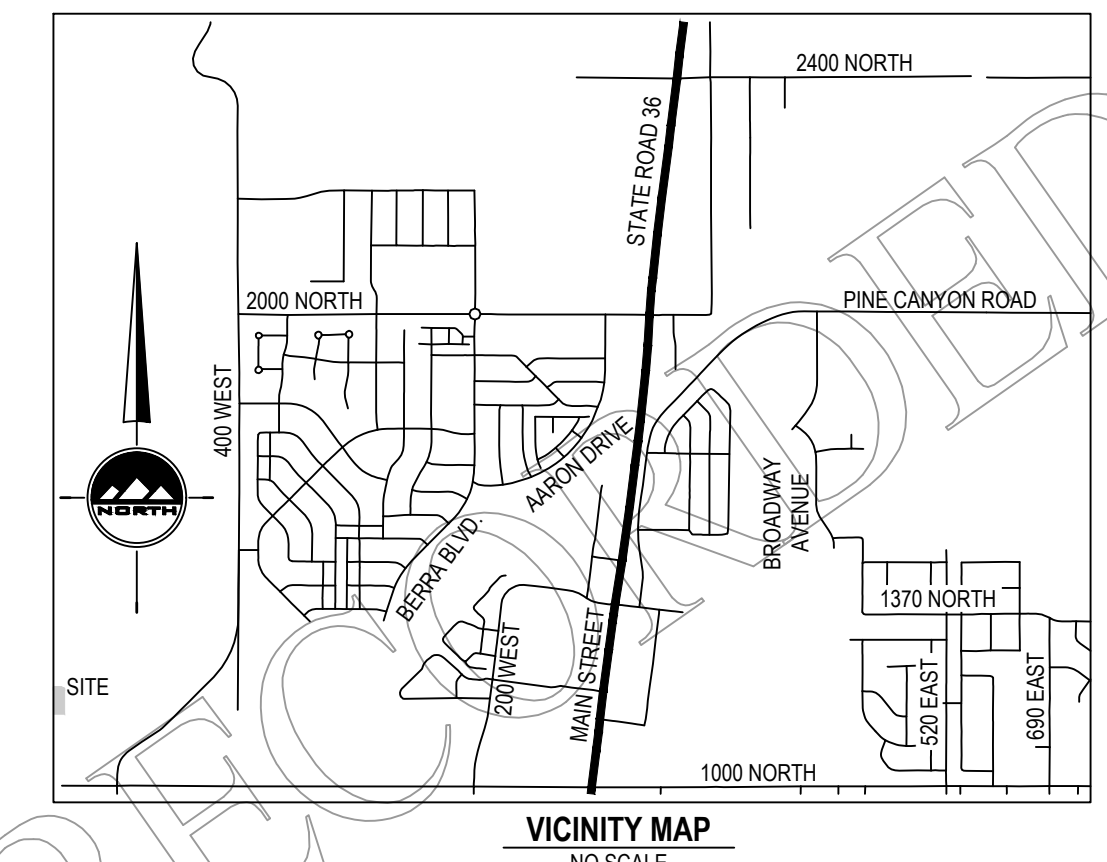
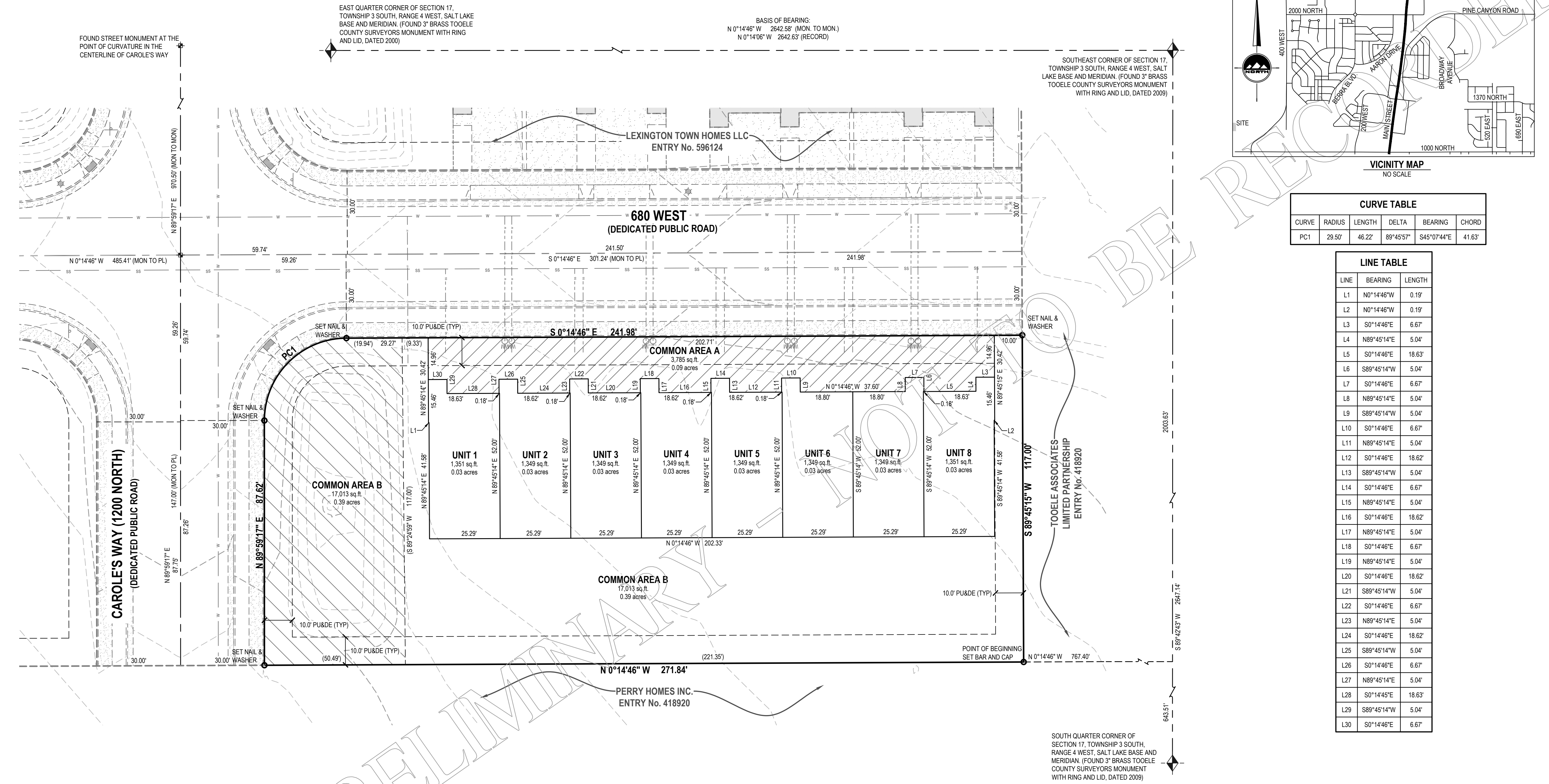
Project Information												
Date of Submission:	2024-09-10	Submittal #:	<input checked="" type="checkbox"/> 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> 4	Zone:	MR-16	Acres:	1.29	Parcel #(s):	21-037-0-0105			
Project Name:	LEX TOWNHOMES LOT 106											
Project Address:	1255 N 680 WEST											
Project Description:	TOWNHOMES ON LOT 105 OF LEXINGTON AT OVERLAKE SUBDIVISION			Phases:	1	Lots:	8					
Property Owner(s): LEXINGTON TOWN HOMES LLC					Applicant(s): BUILDING DYNAMICS							
Address: 8703 SOUTH SANDY PARKWAY					Address: 8703 SOUTH SANDY PARKWAY							
City: SANDY			State: UT		Zip: 84070		City: SANDY			State: UT		Zip: 84070
Phone: 801-301-1549			Email: dave.iring1@gmail.com					Phone: 801-301-1549			Email: dave.iring1@gmail.com	
Contact Person: DAVE IRVING					Address: 8703 SOUTH SANDY PARKWAY							
Phone: 801-301-1549					City: SANDY			State: UT		Zip: 84070		
Cellular: 801-301-1549			Fax:			Email: dave.iring1@gmail.com						
Engineer & Company: ENSIGN ENGINEERING					Surveyor & Company: ENSIGN ENGINEERING							
Address: 169 NORTH MAIN STREET, UNIT 1					Address: 169 NORTH MAIN STREET, UNIT 1							
City: TOOELE			State: UT		Zip: 84074		City: TOOELE			State: UT		Zip: 84074
Phone: 435-843-3590			Email: CCHILD@ENSIGNUTAH.COM					Phone: 435-843-3590			Email: CCHILD@ENSIGNUTAH.COM	

*The application you are submitting will become a public record pursuant to the provisions of the Utah State Government Records Access and Management Act (GRAMA). You are asked to furnish the information on this form for the purpose of identification and to expedite the processing of your request. This information will be used only so far as necessary for completing the transaction. If you decide not to supply the requested information, you should be aware that your application may take a longer time or may be impossible to complete. If you are an "at-risk government employee" as defined in *Utah Code Ann.* § 63-2-302.5, please inform the city employee accepting this information. Tooele City does not currently share your private, controlled or protected information with any other person or government entity.

For Office Use Only					
Land Use Review:	Date:	Water Superintendent Review:	Date:	City Engineer Review:	Date:
Planning Review:	Date:	Reclamation Superintendent Review:	Date:	Director Review:	Date:
Fire Flow Test					
Location:		Residual Pressure:	Flow (gpm):	Min. Required Flow (gpm):	
Performed By:		Date Performed:	Corrections Needed:	Comments Returned: Date:	
			<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	

LEX TOWNHOMES SUBDIVISION PRELIMINARY PLAT

(AMENDING LOT 106 OF THE LEXINGTON AT OVERLAKE SUBDIVISION)
LOCATED IN THE SOUTHEAST CORNER OF SECTION 17, TOWNSHIP 3 SOUTH, RANGE 4 WEST,
SALT LAKE BASE AND MERIDIAN, TOOELE CITY, TOOELE COUNTY, UTAH



CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	BEARING	CHORD
PC1	29.50'	46.22'	89°45'57"	S45°07'44"E	41.63'

LINE TABLE		
LINE	BEARING	LENGTH
L1	N0°14'46"W	0.19'
L2	N0°14'46"W	0.19'
L3	S0°14'46"E	6.67'
L4	N89°45'14"E	5.04'
L5	S0°14'46"E	18.63'
L6	S89°45'14"W	5.04'
L7	S0°14'46"E	6.67'
L8	N89°45'14"E	5.04'
L9	S89°45'14"W	5.04'
L10	S0°14'46"E	6.67'
L11	N89°45'14"E	5.04'
L12	S0°14'46"E	18.62'
L13	S89°45'14"W	5.04'
L14	S0°14'46"E	6.67'
L15	N89°45'14"E	5.04'
L16	S0°14'46"E	18.62'
L17	N89°45'14"E	5.04'
L18	S0°14'46"E	6.67'
L19	N89°45'14"E	5.04'
L20	S0°14'46"E	18.62'
L21	S89°45'14"W	5.04'
L22	S0°14'46"E	6.67'
L23	N89°45'14"E	5.04'
L24	S0°14'46"E	18.62'
L25	S89°45'14"W	5.04'
L26	S0°14'46"E	6.67'
L27	N89°45'14"E	5.04'
L28	S0°14'46"E	18.63'
L29	S89°45'14"W	5.04'
L30	S0°14'46"E	6.67'

SURVEYOR'S CERTIFICATE

I, **Douglas J Kinsman** do hereby certify that I am a Professional Land Surveyor, and that I hold certificate No. **334575** in accordance with Title 36, Chapter 22, of the Professional Engineers and Land Surveyors Act. I further certify that by authority of the owners I have completed a survey of the property described on this subdivision plat in accordance with Section 17-23-17, have verified all measurements and have subdivided said tract of land into units, parcels, and a private street, together with easements, hereafter to be known as **LEX TOWNHOMES SUBDIVISION**, and that the same has been correctly surveyed and monumented on the ground as shown on this plat. I further certify that all lots meet frontage width and area requirements of the applicable zoning ordinances.

BOUNDARY DESCRIPTION

A parcel of land, situate in the Southeast Quarter of Section 17, Township 3 South, Range 4 West, Salt Lake Base and Meridian, and in Tooele County, Utah, more particularly described as follows:

All of Lot 106 of "Lexington at Overlake Subdivision" as recorded in the Tooele County Recorder's office, more particularly described as follows:

Beginning at a point on the South line of "Lexington at Overlake Subdivision" recorded in the Tooele County Recorder's Office as entry number 520126, said point also located South 89°42'43" West 643.51 feet along the Section line and North 0°14'46" West 767.4 feet from the South Quarter Corner of Section 17, Township 3 South, Range 4 West, Salt Lake Base and Meridian, running:

thence North 0°14'46" West 271.84 feet, along West line of Lexington at Overlake Subdivision to the South line of Carole's Way;

thence North 89°59'17" West 87.62 feet, along said South line to a point of curvature;

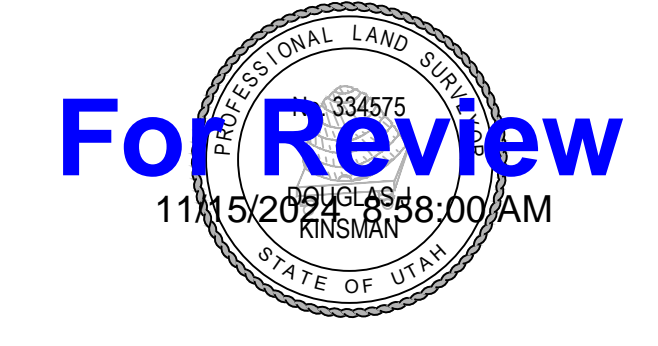
thence South easterly 46.22 feet along the arc of a 29.50 foot radius tangent curve to the right (center bears South 0°00'43" East and the long chord bears South 45°07'44" East 41.63 feet through a central angle of 89°45'57"), along South line of Carole's Way (1200 North) to the West line of 680 West;

thence South 0°14'46" East 241.98 feet along said West Line;

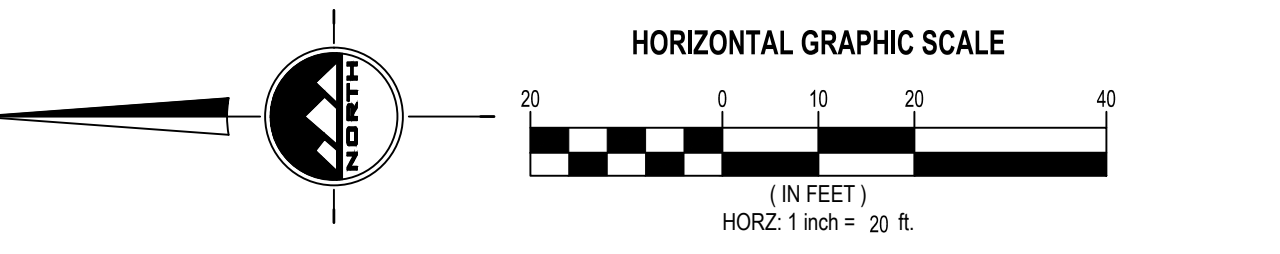
thence South 89°45'15" West 117.00 feet, to the point of beginning;

Contains 31,593 square feet or 0.73 acres, 8 Units, 3 Parcels.

Date
Douglas J Kinsman
License no. 334575



- NOTES**
- NO DRIVEWAYS SHALL BE CONSTRUCTED SO AS TO SLOPE TOWARD ANY STRUCTURES.
 - UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN, AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS, LIMITED COMMON AREAS AND COMMON AREAS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES AND VEGETATION THAT MAY BE PLACED WITHIN THE P.U.E. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE P.U.E. AT THE LOT OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE LOT OWNER'S EXPENSE. AT NO TIME MAY ANY PERMANENT STRUCTURES BE PLACED WITHIN THE P.U.E. OR ANY OTHER OBSTRUCTION WHICH INTERFERES WITH THE USE OF THE P.U.E. WITHOUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE P.U.E.
 - SET 1/2" x 24" REBAR WITH YELLOW PLASTIC CAP, OR NAIL STAMPED "ENSIGN ENG. & LAND SURV." AT ALL PROPERTY CORNERS.
 - ALL LIMITED COMMON AND COMMON AREAS ARE OWNED AND MAINTAINED BY THE LEXINGTON GREENS HOME OWNERS ASSOCIATION, INC.



<p>ROCKY MOUNTAIN POWER COMPANY</p> <p>1. PURSUANT TO UTAH CODE ANN. § 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.</p> <p>2. PURSUANT TO UTAH CODE ANN. § 17-27A-603(4)(C)(II) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE P.U.E. AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:</p> <p>(1) A RECORDED EASEMENT OR RIGHT-OF-WAY</p> <p>(2) THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS</p> <p>(3) TITLE 54, CHAPTER 8A, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR</p> <p>(4) ANY OTHER PROVISION OF LAW.</p> <p>APPROVED THIS _____ DAY OF _____, 20____</p> <p>ROCKY MOUNTAIN POWER</p> <p>BY _____</p> <p>TITLE _____</p>	<p>ENBRIDGE GAS UTAH</p> <p>QUESTAR GAS COMPANY, DBA ENBRIDGE GAS UTAH, HEREBY APPROVES THIS PLAT SOLELY FOR THE PURPOSES OF APPROXIMATING THE LOCATION, BOUNDARIES, COURSE AND DIMENSIONS OF THE RIGHTS-OF-WAY AND EASEMENTS GRANTS AND EXISTING UNDERGROUND FACILITIES. NOTHING HEREIN SHALL BE CONSTRUED TO WARRANT OR VERIFY THE PRECISE LOCATION OF SUCH ITEMS. THE RIGHTS-OF-WAY AND EASEMENTS ARE SUBJECT TO NUMEROUS RESTRICTIONS APPEARING ON THE RECORDED RIGHT-OF-WAY AND EASEMENT GRANTS. ENBRIDGE GAS UTAH MAY REQUIRE ADDITIONAL EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABRIGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNER DEDICATION OR IN THE NOTES, AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OR CONDITIONS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT ENBRIDGE GAS UTAH'S RIGHT-OF-WAY DEPARTMENT AT 800-366-8532.</p> <p>APPROVED THIS _____ DAY OF _____, 20____</p> <p>ENBRIDGE GAS UTAH</p> <p>BY _____</p> <p>TITLE _____</p>
---	---

DEVELOPER
BUILDING DYNAMICS
8703 SOUTH SANDY PARKWAY
SANDY, UTAH
801-301-1549

<p>POST MASTER</p> <p>APPROVED THIS _____ DAY OF _____, 20____</p> <p>BY THE POST MASTER</p> <p>POST MASTER</p>	<p>CITY ATTORNEY</p> <p>APPROVED AS TO FORM THIS _____ DAY OF _____, 20____</p> <p>TOOELE CITY ATTORNEY</p>	<p>PUBLIC WORKS</p> <p>APPROVED THIS _____ DAY OF _____, 20____</p> <p>BY THE TOOELE CITY PUBLIC WORKS</p> <p>TOOELE CITY PUBLIC WORKS</p>	<p>PLANNING / ZONING</p> <p>APPROVED THIS _____ DAY OF _____, 20____</p> <p>BY THE TOOELE CITY PLANNING / ZONING DIRECTOR</p> <p>TOOELE CITY PLANNING / ZONING DIRECTOR</p>
--	--	---	--

CITY ENGINEER

APPROVED AS TO FORM THIS _____ DAY OF _____, 20____

TOOELE CITY ENGINEER

PLANNING COMMISSION

APPROVED THIS _____ DAY OF _____, 20____ BY THE TOOELE CITY PLANNING COMMISSION.

<p>COUNTY TREASURER APPROVAL</p> <p>APPROVED AS TO FORM THIS _____ DAY OF _____, 20____ BY THE TOOELE COUNTY TREASURER.</p> <p>TOOELE COUNTY TREASURER</p>	<p>SCHOOL DISTRICT</p> <p>APPROVED THIS _____ DAY OF _____, 20____ BY THE TOOELE COUNTY SCHOOL DISTRICT</p> <p>TOOELE COUNTY SCHOOL DISTRICT</p>	<p>COUNTY SURVEY DEPARTMENT</p> <p>APPROVED THIS _____ DAY OF _____, 20____ BY THE TOOELE COUNTY SURVEY DEPARTMENT. RECORD OF SURVEY FILE # _____</p> <p>TOOELE COUNTY SURVEY DIRECTOR</p>
---	---	---

<p>COUNTY RECORDER</p> <p>REVIEWED THIS _____ DAY OF _____, 20____ BY THE TOOELE COUNTY RECORDER AS TO DESCRIPTION OF RECORD.</p> <p>TOOELE COUNTY RECORDER</p>	<p>HEALTH DEPARTMENT</p> <p>APPROVED THIS _____ DAY OF _____, 20____ BY THE TOOELE COUNTY HEALTH DEPARTMENT.</p> <p>TOOELE COUNTY HEALTH DEPARTMENT</p>
--	--

**LEX TOWNHOMES SUBDIVISION
PRELIMINARY PLAT**

(AMENDING LOT 106 OF THE LEXINGTON AT OVERLAKE SUBDIVISION)
LOCATED IN THE SOUTHEAST CORNER OF SECTION 17, TOWNSHIP 3 SOUTH, RANGE 4 WEST,
SALT LAKE BASE AND MERIDIAN, TOOELE CITY, TOOELE COUNTY, UTAH

<p>TOOELE 163 North Main Street Unit 1 Tooele, Utah 84074 Phone: 435.843.3590 Fax: 435.578.0108</p>	<p>SALT LAKE CITY Phone: 801.251.0209</p> <p>LAYTON Phone: 801.561.1100</p> <p>CEBAR CITY Phone: 435.863.1433</p> <p>RICHFIELD Phone: 435.866.2983</p> <p>WWW.ENSIGNENG.COM</p>	<p>ENSIGN</p>	<p>SHEET 1 OF 1</p> <p>PROJECT NUMBER: 82650V MANAGER: C. CHILD DRAWN BY: C. CHILD CHECKED BY: D. KINSMAN DATE: 11/15/24</p>
--	---	----------------------	---

STAFF REPORT

January 2, 2025

To: Tooele City Planning Commission
Business Date: January 8, 2025

From: Planning Division
Community Development Department

Prepared By: Andrew Aagard, City Planner / Zoning Administrator

Re: Lex Townhomes Lot 106 – Site Plan Design Review Request

Application No.: 2024051
Applicant: Dave Irving, representing Building Dynamics
Project Location: 1255 North 680 West
Zoning: MR-16 Multi-Family Residential Zone
Acreage: 1.29 Acres (Approximately 56,192 ft²)
Request: Request for approval of a Site Plan Design Review application in the MR-16 Multi-Family Residential zone regarding the approval of 8 town homes and the associated common and limited common areas.

BACKGROUND

This application is a request for approval of a Site Plan Design Review for approximately 1.29 acres located at the south west corner of the intersection of 1255 North 680 West. The property is currently zoned MR-16 Multi-Family Residential. The applicant is requesting that a Site Plan Design Review be approved to allow for the development of the currently vacant site into a row of eight attached town houses as well as the necessary infrastructure improvements to facilitate the new homes.

ANALYSIS

General Plan and Zoning. The Land Use Map of the General Plan calls for the High Density Residential land use designation for the subject property. The property has been assigned the MR-16 Multi-Family Residential zoning classification, supporting approximately 16 dwelling units per acre. The purpose of the MR-16 The MR-16 Multi-Family Residential zoning designation is identified by the General Plan as a preferred zoning classification for the High Density Residential land use designation. Properties to the north and to the east are zoned MR-16 Multi-Family Residential. Property to the west is zoned R1-7 Residential and property to the south is zoned NC Neighborhood Commercial. Properties to the west and to the south are currently vacant, undeveloped land. Mapping pertinent to the subject request can be found in Exhibit “A” to this report.

Site Plan Layout. The site plan for this proposed development is fairly simple and straight forward with very little zoning matters to be considered. The proposed 8 townhomes will be oriented north to south and will face east. Each townhome will have driveway access to 680 West which is a public street. Each driveway extending from 680 West to the town house will be 20 feet in depth and 20 feet in width.

On the north side of the project there will be a storm water detention basin that will landscaped and maintained by the development. This storm water detention basin is fairly large because it collects storm water from all of the other phases located directly to east, also developed by Building Dynamics.

The area located to the west of the townhomes will be landscaped open space, will include one amenity such as a child tot lot play structure and will be maintained by the applicant.

The building as proposed meets or exceeds all requirements for building setbacks from public roads and property lines as required by the MR-16 zoning code and the Multi-Family Residential design guidelines as found in TCC 7-11a.

Subdivision Layout. The site plan as proposed matches the subdivision plat as proposed in the Preliminary Subdivision Plan.

Landscaping. The site is proposed to be developed with 32% of the site as landscaping. Landscaping will include types of landscaping. 3,600 square feet of landscaping will be areas of cobble mulch and plantings. 9,500 square feet will be irrigated grass used for recreational purposes. Nearly 5,000 square feet will be non-watered landscaping and will be mostly contained in the storm water management basin.

The landscaping will include the addition of 25 new deciduous and coniferous trees placed throughout the development as required by the ordinance and meets or exceeds ordinance requirements.

Parking. Each townhouse will have a two car garage and a driveway wide and long enough to park two vehicles for a total of 4 parking spaces per unit. In the case of a two car garage and driveway the guest parking requirement is absorbed in the 4 parking spaces per unit. The parking as proposed meets the requirements of the ordinance.

Architecture. Building architecture has been reviewed by staff and staff confirms that the building elevations as proposed meet or exceed the minimum requirements for brick and stone on the building exterior, that sufficient horizontal and vertical elements are included to provide the necessary articulation and that the roofline is sufficiently broken up to avoid roof lines greater than 50 feet in length.

It should also be noted that this is the same building design as used in the previous Lex Townhomes development located to the east.

Signage. Lot 106 is an extension of the Lex Townhomes Phases 1-3 located to the east. As such development signage is included with the other phases.

Fencing. Fencing is required along the western property line where the development is adjacent to single-family residential zoning. The applicant is proposing to install a masonry wall on a concrete mow strip.

Criteria For Approval. The criteria for review and potential approval of a Site Plan Design Review request is found in Sections 7-11-6, 8 and 9 of the Tooele City Code. This section depicts the standard of review for such requests as:

Section 7-11-6. Approval. The Planning Commission, shall determine whether the proposed architectural and site development plans submitted are consistent with [Chapter 7-11 TCC] and with the general policies and objectives of [Title 7 TCC], and shall give or withhold approval accordingly. Before making this determination, the Planning Commission shall receive the written recommendations of the City Engineer, the Accessibility Committee, and the Fire Chief. Such recommendation may be by letter, memorandum, or signature on the plans.

Section 7-11-8. Considerations in review of applications. The Planning Commission and the Engineering Department shall consider the following matters, among others, in their review of applications:

- (1) Considerations relating to traffic safety and traffic congestion:
 - (a) The effect of the site development plan on traffic conditions on abutting streets.
 - (b) The layout of the site with respect to locations and dimensions of vehicular and pedestrian entrances, exits, drives, and walkways.
 - (c) The arrangement and adequacy of off-street parking facilities to prevent traffic congestion.
 - (d) The location, arrangement, and dimensions of truck loading and unloading facilities.
 - (e) The circulation patterns within the boundaries of the development.
 - (f) The surfacing and lighting of off-street parking facilities.
- (2) Considerations relating to outdoor advertising:
 - (a) The number, location, color, size, height, lighting, and landscaping of outdoor advertising signs and structures in relation to the creation of traffic hazards and the appearance and harmony with neighboring development.
- (3) Considerations relating to landscaping:
 - (a) The location, height, and materials of walls, fences, hedges, and screen plantings to insure harmony with neighboring development, or to conceal storage areas, utility installations, or other unsightly development.
 - (b) The planting of ground cover or other surfacing to prevent dust and erosion.
 - (c) The unnecessary destruction of existing healthy trees.
- (4) Considerations relating to buildings and site layout:
 - (a) Consideration of the general silhouette and mass, including location on the site, elevations, and relation to natural plant coverage, all in relationship to neighboring development.
 - (b) Consideration of exterior design in relation to adjoining structures in height, bulk, and area openings, breaks in facade facing on streets, line and pitch of roofs, and the arrangement of structures on the parcel.
- (5) Considerations relating to drainage:
 - (a) The effect of the site development plan on the adequacy of the storm and surface water drainage, retention, and/or detention.

Section 7-11-9. Considerations. The Planning Commission, or the City Engineer, when authorized, shall decide all applications for design review. Design approval may include such conditions consistent with the considerations of [Chapter 7-11 TCC] as the Planning Commission or City Engineer deem reasonably necessary under the circumstances to carry out the intent of [Chapter 7-11 TCC].

REVIEWS

Planning Division Review. The Tooele City Planning Division has completed their review of the Site Plan Design Review submission and has issued a recommendation for approval for the request with the following comment:

1. The site plan as proposed meets or exceeds all design guidelines as established by Tooele City Code 7-11a, Multi-Family Residential Design guidelines regarding building orientation, landscaping, amenities, parking, open space, landscaping and building architecture.

Engineering & Public Works Review. The Tooele City Engineering and Public Works Divisions have completed their reviews of the Site Plan Design Review submission and have issued a recommendation for approval for the request.

Tooele City Fire Department Review. The Tooele City Fire Department has completed their review of the Site Plan Design Review submission and has issued a recommendation for approval for the request.

STAFF RECOMMENDATION

Staff recommends approval of the request for a Site Plan Design Review by Dave Irving, representing Building Dynamics, application number 2024051, subject to the following conditions:

1. That all requirements of the Tooele City Engineering and Public Works Divisions shall be satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
2. That all requirements of the Tooele City Building Division shall be satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
3. That all requirements of the Tooele City Fire Department shall be satisfied throughout the development of the site and the construction of all buildings on the site.
4. That all requirements of the geotechnical report shall be satisfied throughout the development of the site and the construction of all buildings on the site.

This recommendation is based on the following findings:

1. The proposed development plans meet the intent, goals, and objectives of the Tooele City General Plan.
2. The proposed development plans meet the requirements and provisions of the Tooele City Code.
3. The proposed development plans will not be deleterious to the health, safety, and general welfare of the general public nor the residents of adjacent properties.
4. The proposed development conforms to the general aesthetic and physical development of the area.
5. The public services in the area are adequate to support the subject development.
6. The The site plan as proposed meets or exceeds all design guidelines as established by Tooele City Code 7-11a, Multi-Family Residential Design guidelines regarding building orientation, landscaping, amenities, parking, open space, landscaping and building architecture.

MODEL MOTIONS

Sample Motion for Approval – “I move we approve the Site Plan Design Review Request by Dave Irving, representing Building Dynamics for the Lex Townhomes Lot 106 at 1255 North 680 West, application number 2024051, based on the findings and subject to the conditions listed in the Staff Report dated January 2, 2025:”

1. List any additional findings and conditions...

Sample Motion for Denial – “I move we deny the Site Plan Design Review Request by Dave Irving, representing Building Dynamics for the Lex Townhomes Lot 106 at 1255 North 680 West, application number 2024051, based on the following findings:”

1. List findings...

EXHIBIT A

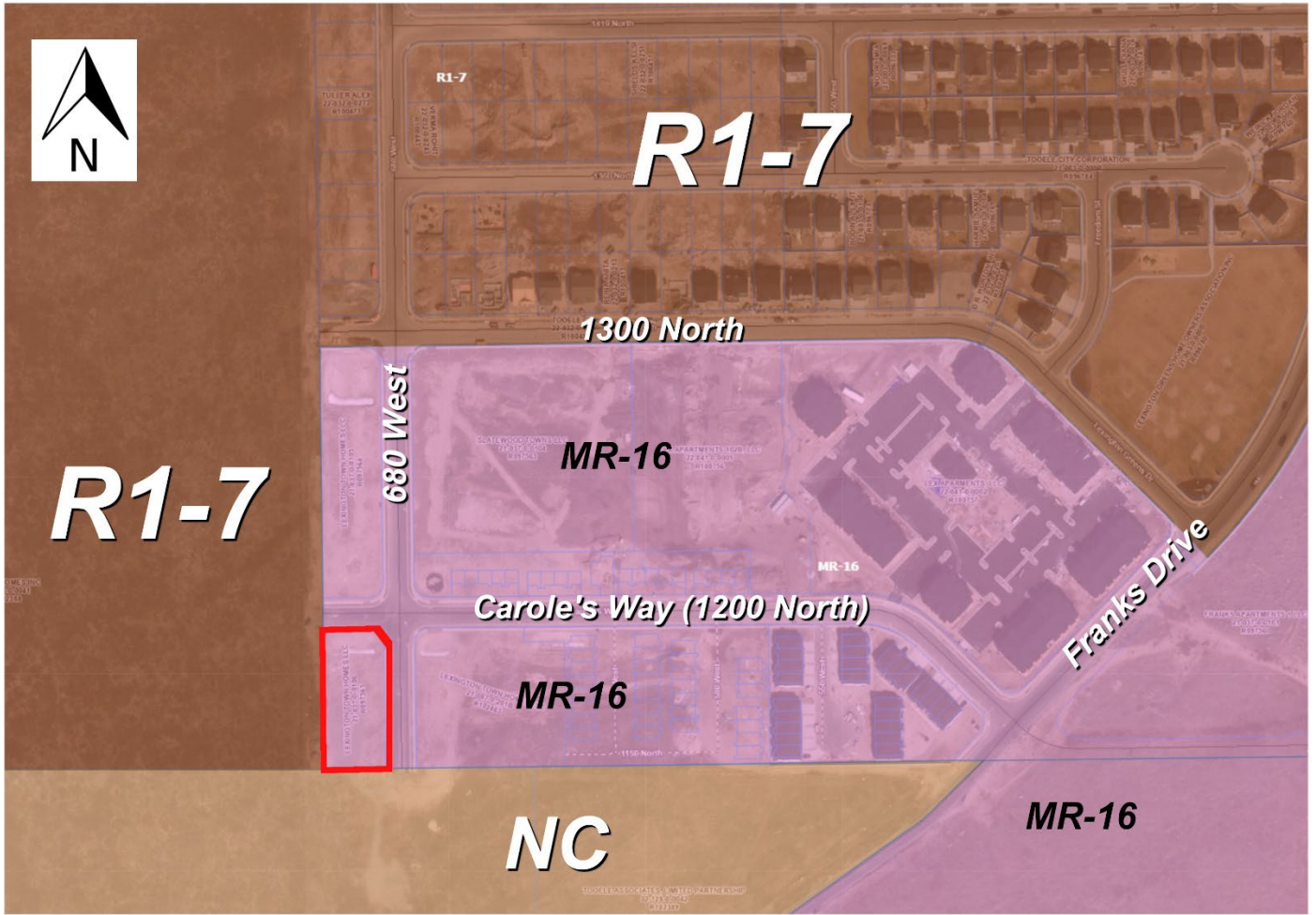
MAPPING PERTINENT TO THE LEX TOWNHOMES LOT 106 SITE PLAN DESIGN REVIEW

Lex Townhomes Lot 106 Site Plan Design Review



Aerial View

Lex Townhomes Lot 106 Site Plan Design Review



Current Zoning

EXHIBIT B

**PROPOSED DEVELOPMENT PLANS &
APPLICANT SUBMITTED INFORMATION**

Subdivision – Plat Amendment Application

Community Development Department
 90 North Main Street, Tooele, UT 84074
 (435) 843-2132 Fax (435) 843-2139
www.tooelecity.gov



Project Information											
Date of Submission:	2024-09-10	Submittal #:	<input checked="" type="checkbox"/> 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> 4	Zone:	MR-16	Acres:	1.29	Parcel #(s):	21-037-0-0105		
Project Name:	LEX TOWNHOMES LOT 106										
Project Address:	1255 N 680 WEST										
Project Description:	TOWNHOMES ON LOT 105 OF LEXINGTON AT OVERLAKE SUBDIVISION			Phases:	1	Lots:	8				
Property Owner(s): LEXINGTON TOWN HOMES LLC					Applicant(s): BUILDING DYNAMICS						
Address: 8703 SOUTH SANDY PARKWAY					Address: 8703 SOUTH SANDY PARKWAY						
City:	SANDY	State:	UT	Zip:	84070	City:	SANDY	State:	UT	Zip:	84070
Phone:	801-301-1549	Email:	dave.irving1@gmail.com			Phone:	801-301-1549	Email:	dave.irving1@gmail.com		
Contact Person: DAVE IRVING					Address: 8703 SOUTH SANDY PARKWAY						
Phone:	801-301-1549	City:	SANDY	State:	UT	Zip:	84070				
Cellular:	801-301-1549	Fax:				Email:	dave.irving1@gmail.com				
Engineer & Company: ENSIGN ENGINEERING					Surveyor & Company: ENSIGN ENGINEERING						
Address: 169 NORTH MAIN STREET, UNIT 1					Address: 169 NORTH MAIN STREET, UNIT 1						
City:	TOOELE	State:	UT	Zip:	84074	City:	TOOELE	State:	UT	Zip:	84074
Phone:	435-843-3590	Email:	CCHILD@ENSIGNUTAH.COM			Phone:	435-843-3590	Email:	CCHILD@ENSIGNUTAH.COM		

*The application you are submitting will become a public record pursuant to the provisions of the Utah State Government Records Access and Management Act (GRAMA). You are asked to furnish the information on this form for the purpose of identification and to expedite the processing of your request. This information will be used only so far as necessary for completing the transaction. If you decide not to supply the requested information, you should be aware that your application may take a longer time or may be impossible to complete. If you are an "at-risk government employee" as defined in *Utah Code Ann.* § 63-2-302.5, please inform the city employee accepting this information. Tooele City does not currently share your private, controlled or protected information with any other person or government entity.

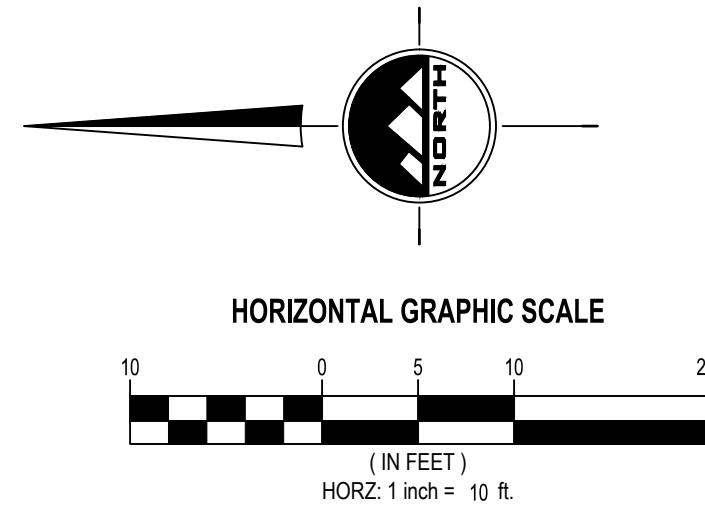
For Office Use Only					
Land Use Review:	Date:	Water Superintendent Review:	Date:	City Engineer Review:	Date:
Planning Review:	Date:	Reclamation Superintendent Review:	Date:	Director Review:	Date:
Fire Flow Test					
Location:	Residual Pressure:	Flow (gpm):	Min. Required Flow (gpm):		
Performed By:	Date Performed:	Corrections Needed:	Comments Returned:	Date:	
		<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		

811
Know what's below.
Call before you dig.

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

BENCHMARK

EAST QUARTER CORNER OF SECTION 17,
TOWNSHIP 3 SOUTH, RANGE 4 WEST,
SALT LAKE BASE AND MERIDIAN
ELEV = 4735.78'



SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- ① DRIVEWAY APPROACH PER APWA STANDARD PLAN NO. 221.1. REPLACE ANY BROKEN SIDEWALK THROUGH THE DRIVE APPROACH AREA PER TOOELE CITY STANDARDS.
- ② PLAYGROUND AREA. SEE OWNER FOR PLAYGROUND EQUIPMENT.
- ③ TOWNHOME SIGN PER OWNER PER TOOELE CITY STANDARDS.
- ④ CONCRETE FENCE WITH CONCRETE MOW CURB. INSTALL PER MANUFACTURER STANDARDS SPECIFICATIONS. FENCE STYLE PER TOOELE CITY STANDARDS AND SPECIFICATIONS FENCING REQUIREMENTS. SEE 91C-500.

NOTE: SOME KEY NOTES MAY NOT BE USED

GENERAL NOTES

1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
2. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
3. SEE LANDSCAPE/ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH, AND SCORE PATTERNS THROUGHOUT SITE.
4. ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
5. ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
6. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
7. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.



TOOELE
169 N. Main Street, Unit 1
Tooele, UT, 84074
Phone: 435.843.3590

SALT LAKE CITY
Phone: 801.255.0529

LAYTON
Phone: 801.547.1100

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
BUILDING DYNAMICS
8703 SOUTH SANDY PARKWAY
SANDY, UTAH
CONTACT:
HAROLD IRVING
PHONE: 801-301-1549

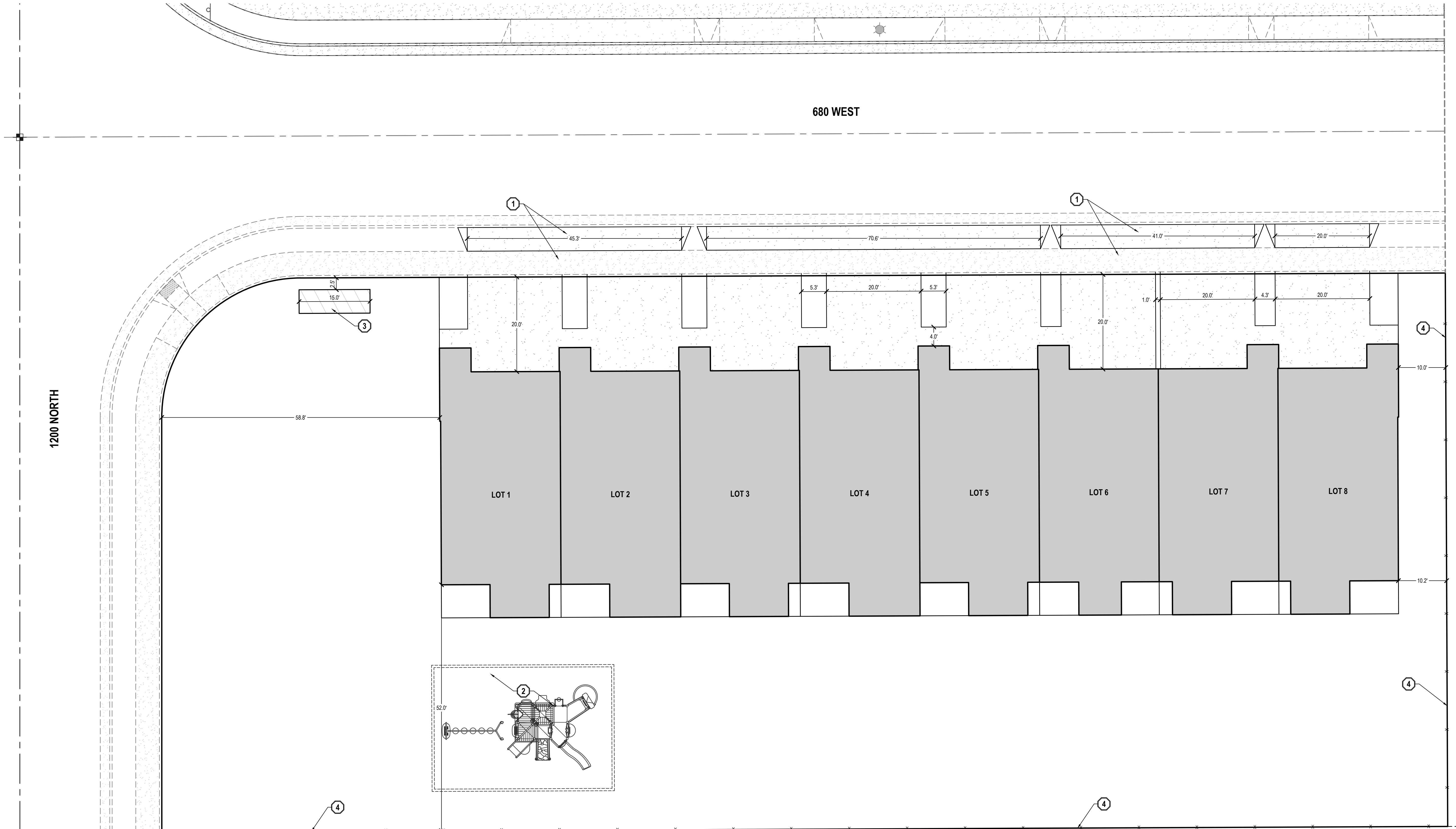
LEX TOWNHOMES
LOT 106
1181 NORTH 680 WEST
TOOELE, UTAH 84074



SITE PLAN

PROJECT NUMBER: 8260W
PRINT DATE: 12/10/24
DRAWN BY: C. CHILD
CHECKED BY: J. CLEGG
PROJECT MANAGER: C. CHILD

C-100

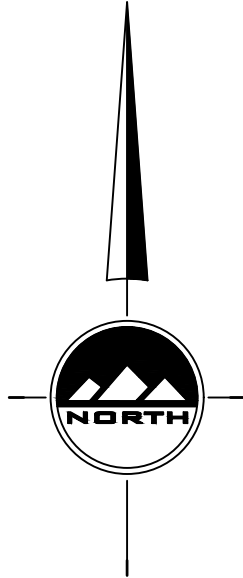
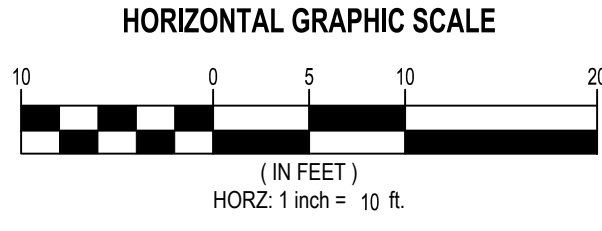


811
Know what's below.
Call before you dig.

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

BENCHMARK

EAST QUARTER CORNER OF SECTION 17,
TOWNSHIP 3 SOUTH, RANGE 4 WEST,
SALT LAKE BASE AND MERIDIAN
ELEV = 4735.78'



AREAS

SQFT	Symbol	Common Name
6,487	[Symbol]	BUFFALO GRASS
9,513	[Symbol]	GROUND COVER
1,029	[Symbol]	PLAYGROUND AREA

Shrubs Under 4 Feet

Qty	Symbol	Common Name	Plant Size
19	[Symbol]	Cinquefoil	5 Gallon
20	[Symbol]	Current, Alpine	1 Gallon
33	[Symbol]	Blue Oat Grass	1 Gallon
Total: 72			

Landscape

Trees

Qty	Symbol	Common Name	Plant Size
8	[Symbol]	LACEBARK ELM	2" Cal.
8	[Symbol]	PURPLEBLOW MAPLE	2" Cal.
9	[Symbol]	AUSTRIAN PINE	2" Cal.
Total: 25			

Irrigation

Qty	Symbol	Description
1	[Symbol]	Wilkins Model 375, FEBCO LF860
-	[Symbol]	Rain Bird 100-PGA Globe
-	[Symbol]	Rain Bird XCZ-100 COM
1	[Symbol]	Irritol Total Control R Series
-	[Symbol]	Pipe Sleeve 2x Diameter
-	[Symbol]	Mainline: 1 1/4" Schedule 40 PVC
-	[Symbol]	XT-700 XERIGATION DRIP TUBE (2) XB-10 EMITTER PER SHRUB (4) XB-10 EMITTER PER TREE

**** NOTES ****
THIS PLAN WAS DRAWN FOR GRAPHIC CLARITY ONLY. PLEASE PLACE ALL MAINLINE AND LATERAL LINES IN ADJACENT LANDSCAPE AREAS. SOME FIELD MODIFICATIONS MAY BE NEEDED TO AVOID ON SITE OBSTRUCTIONS.

SITE SUMMARY TABLE

DESCRIPTION	AREA (SF)	%
HARDSCAPE	2,595	8%
ROOF	10,808	34%
DRIP AREA	3,681	12%
GRASS	9,513	30%
NON WATERED AREA	4,996	16%
TOTAL AREA	31,593	100%
TOTAL AREA: 0.73 ACRES		

WATER USAGE CALCULATIONS
LANDSCAPE USAGE: AREA X WATER USAGE PER ACRE

SOD AREA @ 4 AF/ACRE
DRIP AREA @ 2 AF/ACRE

TOTAL SOD AREA: 0.22 ACRE
TOTAL DRIP AREA: 0.09 ACRE

SOD USAGE: 0.88 AF
DRIP USAGE: 0.18 AF

TOTAL LANDSCAPE USAGE = 1.06 AF

- SCOPE OF WORK:**
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- 1 DROUGHT TOLERANT SOD AREA (BUFFALO, WHEATGRASS, GRAMMAGRASS, OR TURTLE TURF) W/ RAINBIRD SPRAYED HEADS AND MAXIS. SEE LANDSCAPE DETAIL SHEET L-200.
 - 2 INSTALL TREES W/ ROOT WATERING SYSTEM
 - 3 INSTALL 4" DEEP 2'-3" DIA. NEPHI ROCK AND GRAVEL COLOR 'SOUTHTOWN' OR EQUIV. DECORATIVE ROCK OVER WEED BARRIER, TYP.
 - 4 INSTALL 4" METAL EDGING
 - 5 INSTALL 1/2" SCHEDULE 40 PVC
 - 6 NON WATERED GRAVEL AREA
 - 7 INSTALL IRRIGATION DRIP TUBE.
 - 8 INSTALL BACKFLOW PREVENTION DEVICE PER TOOELE CITY STANDARDS AND SPECIFICATIONS. SEE DETAIL 1L-200.
 - 9 12" MASONRY SAND ON OVER WEED BARRIER, TYP.
 - 10 AREA TO BE LANDSCAPED BY HOMEOWNER.
- NOTE: SOME KEY NOTES MAY NOT BE USED

ENSIGN
THE STANDARD IN ENGINEERING

TOOELE
169 N. Main Street, Unit 1
Tooele, UT. 84074
Phone: 435.843.3590

SALT LAKE CITY
Phone: 801.255.0529

LAYTON
Phone: 801.547.1100

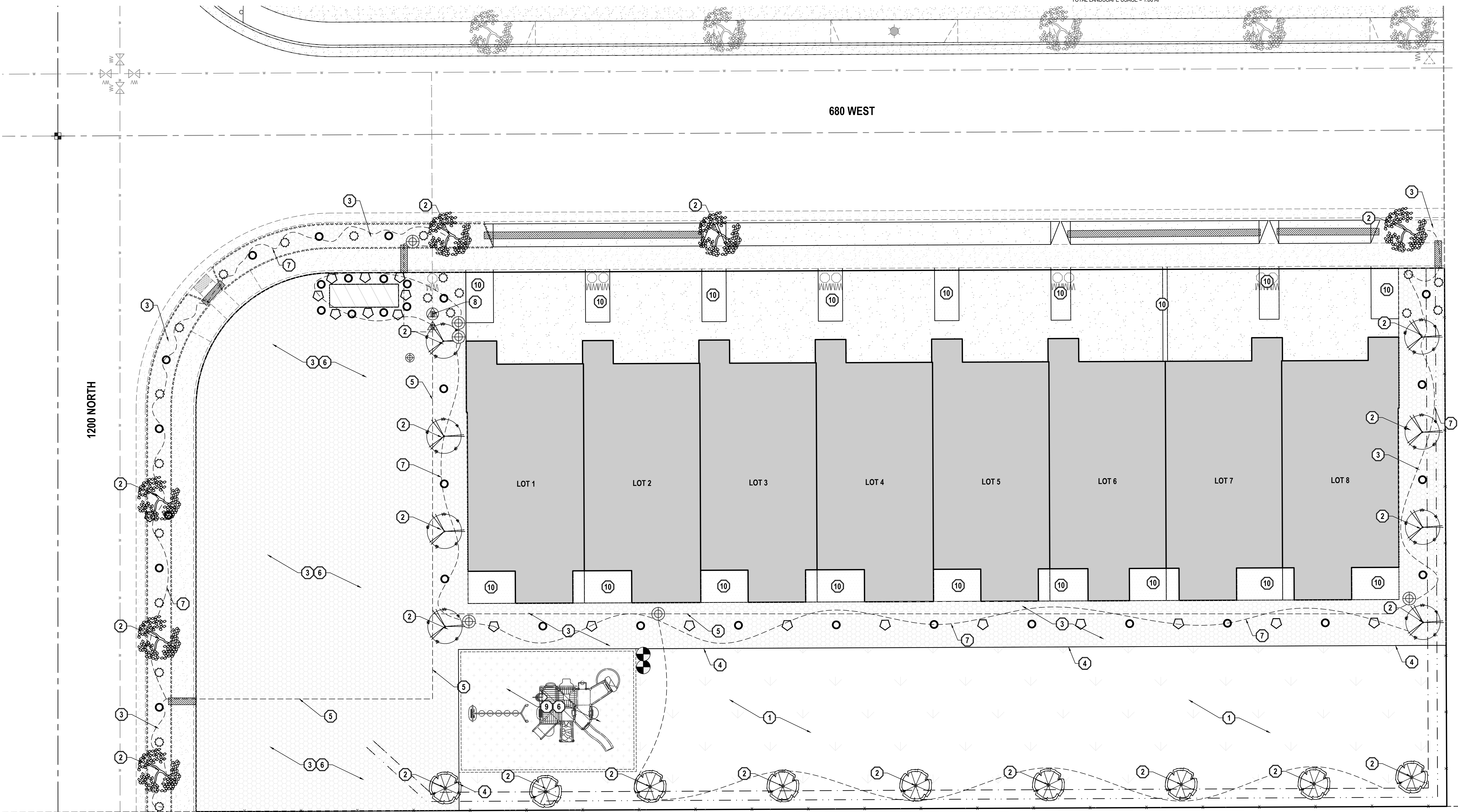
CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
BUILDING DYNAMICS
8703 SOUTH SANDY PARKWAY
SANDY, UTAH

CONTACT:
HAROLD IRVING
PHONE: 801-301-1549



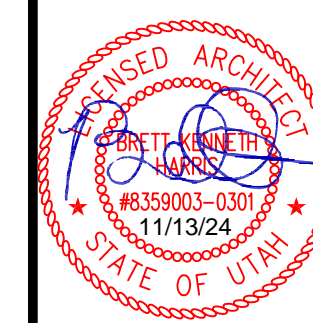
LEX TOWNHOMES
LOT 106
1181 NORTH 680 WEST
TOOELE, UTAH 84074

LANDSCAPE PLAN

PROJECT NUMBER: 8260W
DRAWN BY: C. CHILD
PROJECT MANAGER: C. CHILD

PRINT DATE: 12/10/24
CHECKED BY: J. CLEGG

L-100



A NEW 8-PLEX FOR BUILDING DYNAMICS IN
LEXINGTON TOWNHOMES

TOOELE

UTAH

ARCHITECT
HARRIS ARCHITECTURE
PROVO, UTAH

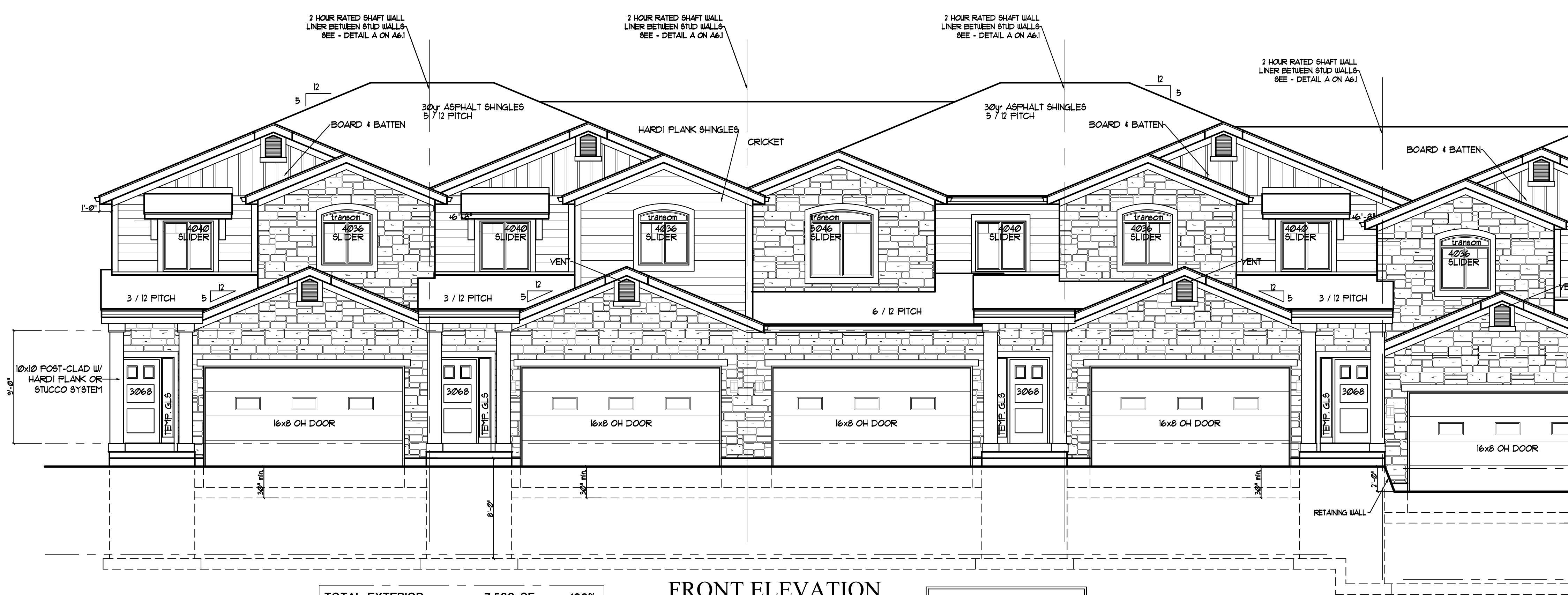
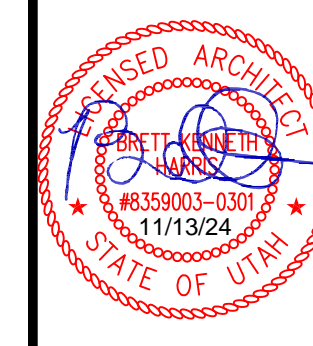
CONTRACTOR
BUILDING DYNAMICS
SANDY, UTAH

STRUCTURAL ENGINEER
ACUTE ENGINEERING
OREM, UTAH

ARCHITECTURAL	STRUCTURAL	ELECTRICAL
A0 - JOB INFORMATION LS1 - SITE PLAN (BY OTHERS) A1 - BASEMENT FLOOR PLAN A2 - MAIN FLOOR PLAN A3 - UPPER FLOOR PLAN A4 - EXTERIOR ELEVATIONS A5 - EXTERIOR ELEVATIONS	A6 - CROSS SECTIONS A6.1 - SEPARATION WALL DETAILS A7 - ROOF PLAN A8 - GENERAL NOTES	S1 - FOOTING & FOUNDATION PLAN S2 - UPPER FLOOR FRAMING PLAN S3 - ROOF FRAMING PLAN S4 - DETAILS S5 - DETAILS S6 - NOTES
		E0 - BASEMENT ELECTRICAL E1 - MAIN FLOOR ELECTRICAL E2 - UPPER FLOOR ELECTRICAL

M1403.1: MECHANICAL EQUIPMENT AND APPLIANCES MUST BE SIZED PER "ACCA" MANUAL 'S' BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH, AND MANUAL 'J' PER "ACCA" MANUAL 'S', THE OUTPUT CAPACITY OF A FURNACE SHALL BE BETWEEN 100% AND 140% OF THE TOTAL HEATING LOAD AND THE TOTAL COOLING CAPACITY OF AN AIR CONDITIONER SHALL BE NO MORE THAN 115% OF THE TOTAL COOLING LOAD. MANUAL 'S' DOCUMENTATION SHALL BE PROVIDED PRIOR TO INSPECTION.

THESE DRAWINGS OR ANY PARTS THEREOF, AS INSTRUMENTS OF SERVICE, REMAIN THE PROPERTY OF THE ARCHITECTS AND MAY NOT BE REPRODUCED OR USED ON OTHER WORK WITHOUT THEIR WRITTEN CONSENT. PLOT DATE: 11/15/2024 O:\ACAD\Files\Building Dynamics\TOOELE\FRONT LOAD 8 PLEX - Lot 106\IRVING_8UTE_00016.rvt

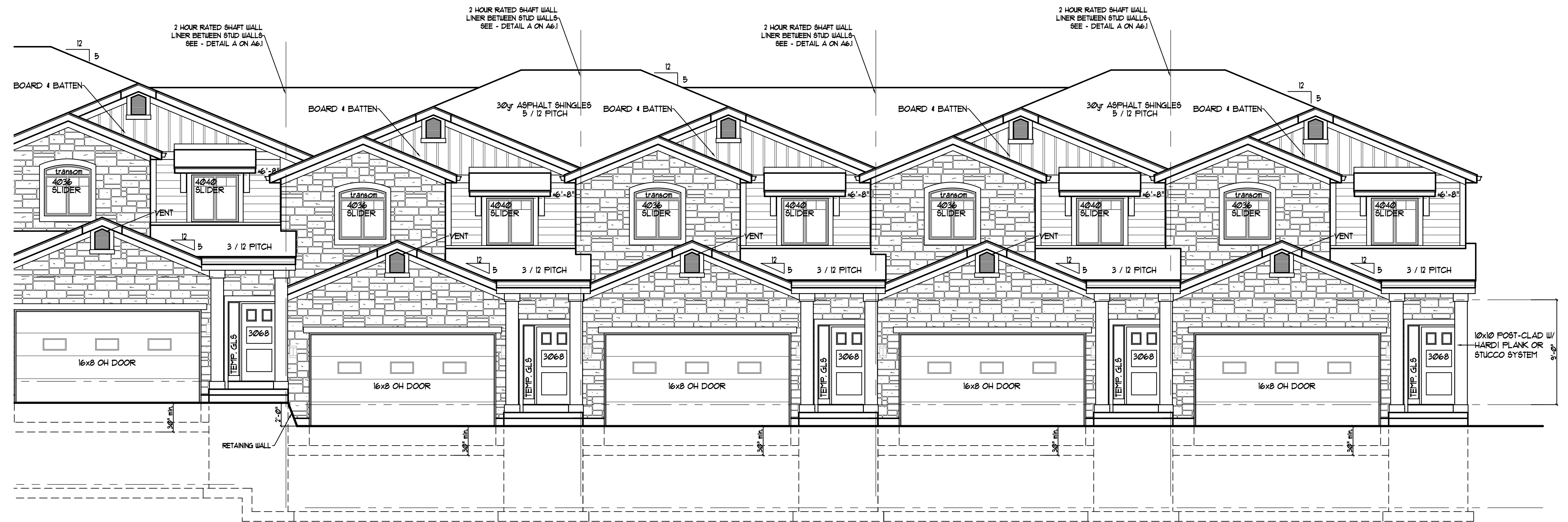


TOTAL EXTERIOR STONE	7,583 SF	100%
FRONT FACADE	4,469 SF	58.9%
FRONT EXTERIOR	3,011 SF	100%
FRONT STONE	2,027 SF	67.3%

FRONT ELEVATION

scale - 3/16"=1'-0"

NOTE:
- 8703.7: A MOISTURE BARRIER AND WEEP SCREED SHALL BE PROVIDED FOR ALL STUCCO SYSTEMS.
- TABLE 905.1.1(2): ON ROOF WITH SLOPES OF 2/12, UP TO 4/12, UNDERLAYMENT SHALL BE (2) LAYERS.



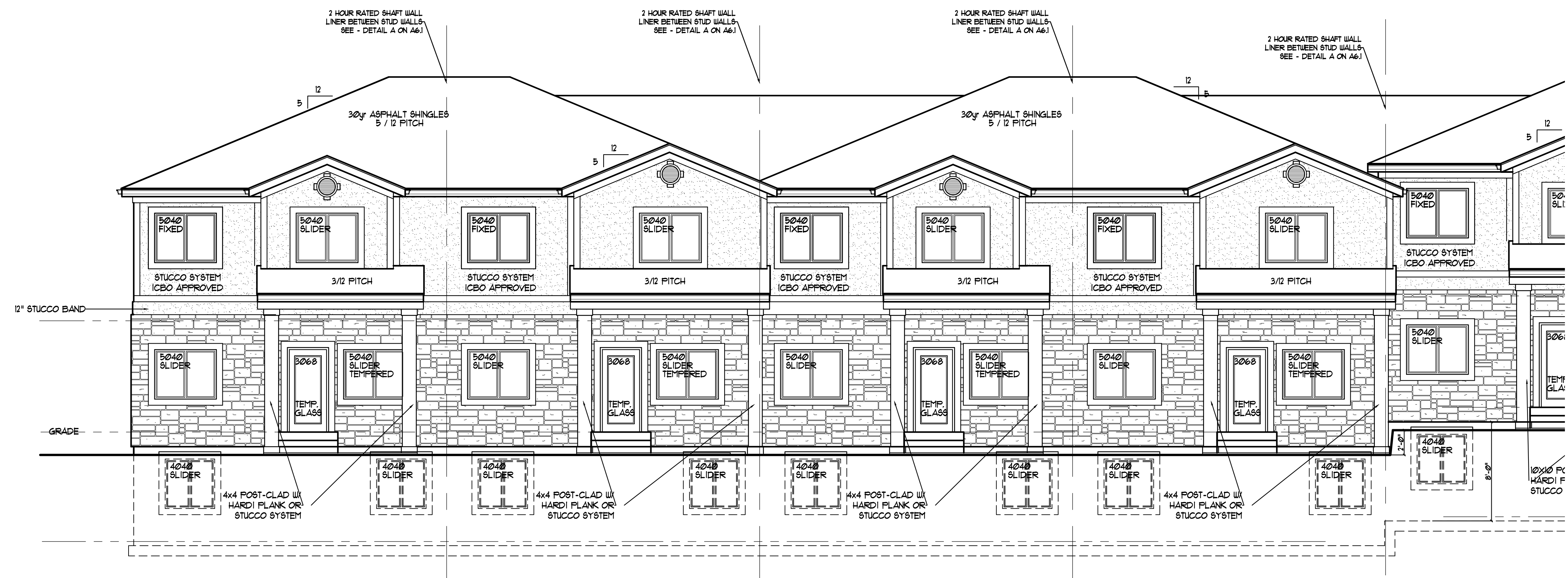
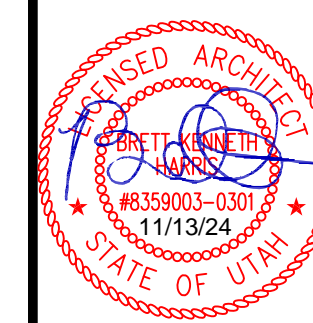
TOTAL EXTERIOR STONE	7,583 SF	100%
FRONT FACADE	4,469 SF	58.9%
FRONT EXTERIOR	3,011 SF	100%
FRONT STONE	2,027 SF	67.3%

FRONT ELEVATION

scale - 3/16"=1'-0"

NOTE:
- 8703.7: A MOISTURE BARRIER AND WEEP SCREED SHALL BE PROVIDED FOR ALL STUCCO SYSTEMS.
- TABLE 905.1.1(2): ON ROOF WITH SLOPES OF 2/12, UP TO 4/12, UNDERLAYMENT SHALL BE (2) LAYERS.

THESE DRAWINGS OR ANY PARTS THEREOF, AS INSTRUMENTS OF SERVICE, REMAIN THE PROPERTY OF THE ARCHITECTS AND MAY NOT BE REPRODUCED OR USED ON OTHER WORK WITHOUT THEIR WRITTEN CONSENT.
PLOT DATE: 11/15/2024 O:\ACAD\Files\Building Dynamics\TOOELE\FRONT LOAD 8 PLEX - Lot 108\IRVING_BUTE_A4-04-ELEV.dwg



TOTAL EXTERIOR STONE	7,583 SF	100%
REAR FACADE	4,469 SF	58.9%
REAR EXTERIOR	3,670 SF	100%
REAR STONE	1,949 SF	53.1%

REAR ELEVATION
scale - 3/16"=1'-0"

NOTE:
- RT03.7: A MOISTURE BARRIER AND WEEP SCREED SHALL BE PROVIDED FOR ALL STUCCO SYSTEMS.
- TABLE 605.1(2): ON ROOF WITH SLOPES OF 2/12 UP TO 4/12, UNDERLAYMENT SHALL BE (2) LAYERS.

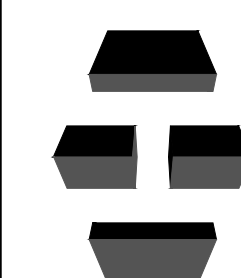
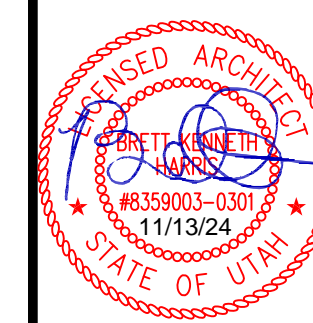


TOTAL EXTERIOR STONE	7,583 SF	100%
REAR FACADE	4,469 SF	58.9%
REAR EXTERIOR	3,670 SF	100%
REAR STONE	1,949 SF	53.1%

REAR ELEVATION
scale - 3/16"=1'-0"

NOTE:
- RT03.7: A MOISTURE BARRIER AND WEEP SCREED SHALL BE PROVIDED FOR ALL STUCCO SYSTEMS.
- TABLE 605.1(2): ON ROOF WITH SLOPES OF 2/12 UP TO 4/12, UNDERLAYMENT SHALL BE (2) LAYERS.

THESE DRAWINGS OR ANY PARTS THEREOF, AS INSTRUMENTS OF SERVICE, REMAIN THE PROPERTY OF THE ARCHITECTS AND MAY NOT BE REPRODUCED OR USED ON OTHER WORK WITHOUT THEIR WRITTEN CONSENT. PLOT DATE: 11/20/2024 C:\ACAD\file\Building Dynamics\TOOELEFRONT LOAD 8 PLEX - Lot 108\IRVING_30UTE_A-04-ELEV.dwg

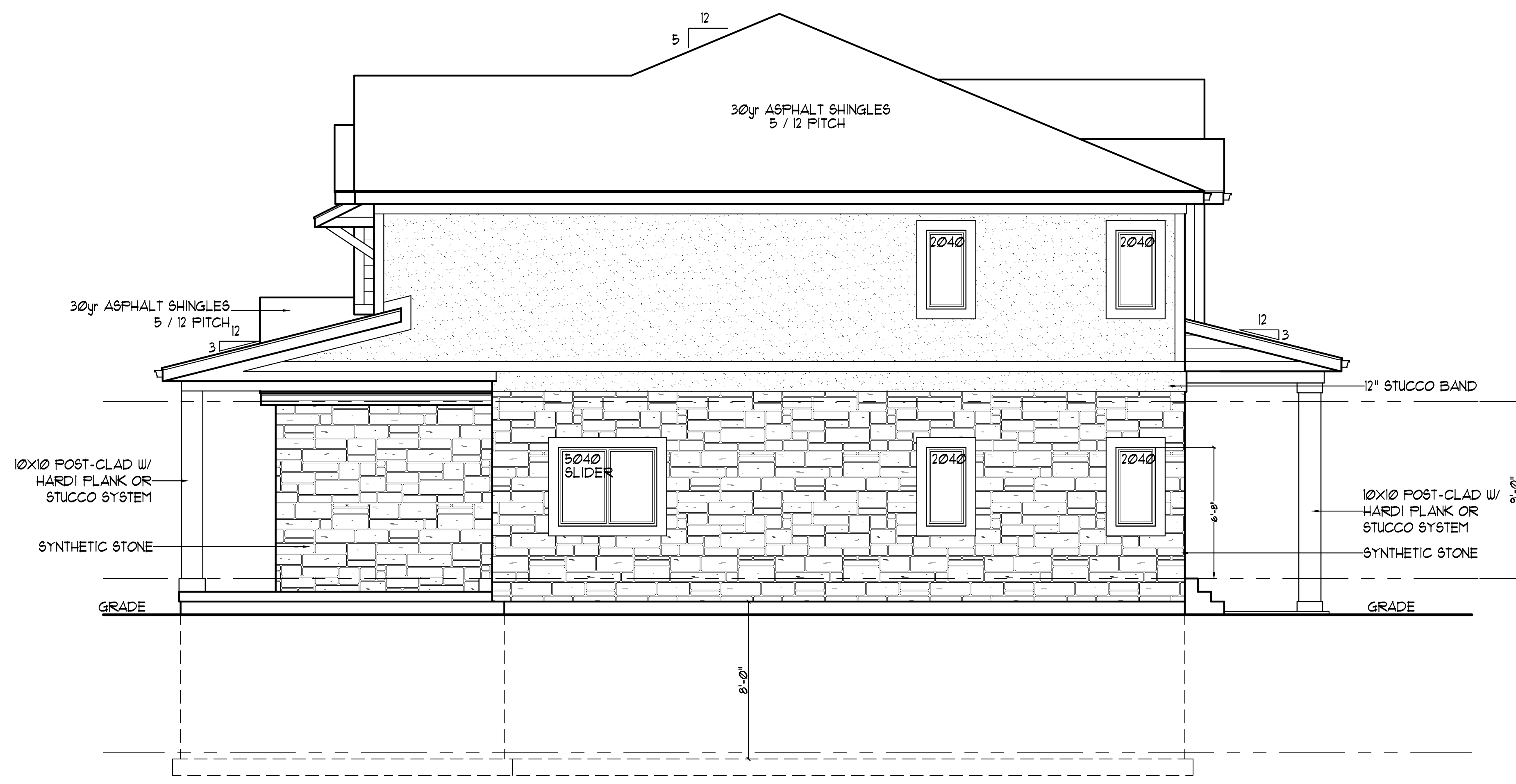
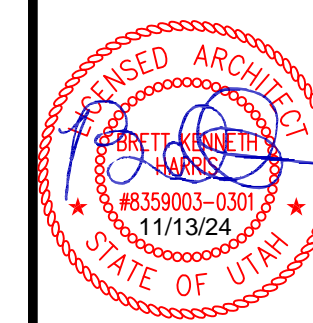


OVERALL FRONT ELEVATION
scale - 1/8"=1'-0"



TOTAL EXTERIOR 7,583 SF 100%
STONE 4,469 SF 58.9%

OVERALL REAR ELEVATION
scale - 1/8"=1'-0"



SIDE ELEVATION FACADE
681 SQFT TOTAL
419 SQFT STONE

NOTE:
- 9103.7: A MOISTURE BARRIER AND KEEP SCREED SHALL BE PROVIDED FOR ALL STUCCO SYSTEMS.
- TABLE 905.1.1(2): ON ROOF WITH SLOPES OF 2/12, UP TO 4/12, UNDERLAYMENT SHALL BE (2) LAYERS.

TOTAL EXTERIOR STONE	7,583 SF	100%
SIDE FACADE	4,469 SF	58.9%
SIDE EXTERIOR	902 SF	100%
SIDE STONE	493 SF	54.7%

TYP. SIDE ELEVATION

scale - 1/4"=1'-0"

THESE DRAWINGS OR ANY PARTS THEREOF, AS INSTRUMENTS OF SERVICE, REMAIN THE PROPERTY OF THE ARCHITECTS AND MAY NOT BE REPRODUCED OR USED ON OTHER WORK WITHOUT THEIR WRITTEN CONSENT. PLOT DATE: 11/15/2024 O:\ACAD\Files\Building Dynamics\TOOELEFRONT LOAD 8 PLEX - Lot 106\IRVING_9UTL_A04-ELEV.dwg

Tooele City Planning Commission
Business Meeting Minutes

Date: December 11, 2024

Time: 7:00 pm

Place: Tooele City Hall, Council Chambers
90 North Main Street, Tooele, Utah

Commission Members Present:

Tyson Hamilton

Weston Jensen

Kelley Anderson

Melanie Hammer

Jon Proctor

Jon Gossett

Excused Matt Robinson and Alison Dunn

City Council Members Present:

Ed Hansen

Maresa Manzione

City Employees Present:

Andrew Aagard, Community Development Director

Roger Baker, City Attorney

Paul Hansen, City Engineer

Kent Page, City Planner

Zack Lawrence, I.T. Intern

Minutes prepared by Alicia Fairbourne

1. Pledge of Allegiance

Chairman Hamilton called the meeting to order at 7:00 pm and led the Pledge of Allegiance.

2. Roll Call

Tyson Hamilton, Present

Weston Jensen, Present

Kelley Anderson, Present

Jon Proctor, Present

Melanie Hammer, Present

Chris Sloan, Present

Alison Dunn, Excused

Matt Robinson, Excused

Before continuing to the agenda, Mr. Aagard took a moment to introduce Kent Page, the new City Planner. Mr. Aagard expressed his gratitude for Mr. Page's addition to the team and highlighted Mr. Page's 20 years of experience in the planning field, including recent work with Saratoga Springs and previous experience with Tooele County. Mr. Aagard emphasized that Mr. Page's familiarity with the city and valley would make him a valuable asset to the community.

3. Public Hearing and Decision on a Conditional Use Permit request by Wasatch Seasons Properties, LLC, to authorize the use of “Accessory Drive Through Facility” for property located at the SE corner of 600 North Main Street on .53 acres in the GC General Commercial zone.

Mr. Page presented the proposal, and highlighted concerns about vehicle stacking potentially impeding on-site and adjacent traffic, as well as the possibility of headlights from the drive-through affecting northbound drivers on SR-36. He suggested that vegetation could mitigate the headlight issue.

The Planning Commissioners discussed site access, confirming it would be a right-in, right-out configuration due to an existing median on Main Street. They also deliberated on the potential impact of headlight glare on northbound traffic and the adequacy of vehicle stacking within the site.

There being no further questions from the Planning Commission, Chairman Hamilton opened the floor for public comment at 7:05 pm. There were no public comments.

The applicant’s architect, BJ Lund, addressed the Planning Commission and confirmed the plan for vegetation to mitigate potential headlight glare, and traffic mitigation was for right-in, right-out access. He also explained that the double drive-through design would accommodate adequate vehicle stacking without impeding traffic flow.

Motion: Commissioner Proctor moved to approve the CUP request by Jasmine Santos, representing Wasatch Season Properties, LLC, for an accessory drive-through facility, application number 2024062, based on the findings subject to the conditions and staff report. Commissioner Jensen seconded the motion.

City Attorney Roger Baker reminded the Commission of the necessity to explicitly identify any anticipated detrimental effects associated with the project, followed by a discussion of reasonable conditions to mitigate those effects. The Commissioners identified the primary issues as the potential for vehicle headlights from the drive-through to disrupt northbound traffic on Main Street, and the possibility of vehicle stacking causing congestion. To mitigate the headlight issue, the Commission required the installation of vegetation, berms, or other barriers to shield the light. Regarding vehicle stacking, the applicant had already provided a stacking plan designed to prevent congestion from spilling onto public roads.

Additionally, Mr. Aagard noted the need for a lot line adjustment to ensure adequate space for parking and site functionality. He noted that this adjustment was a standard site issue and would be addressed independently of the CUP. He noted the need for cross-access easements or agreements. He also mentioned that the adjacent property, Chartway Federal Credit Union, was open to the use of their parking lot to alleviate parking concerns.

Amended Motion: Commissioner Proctor amended the original motion to approve the CUP request by Jasmine Santos, representing Wasatch Season Properties, LLC for an accessory drive-through facility, application number 2024062, based on the findings and subject to the conditions, and to include a condition to add vegetation to help block the lights for northbound traveling traffic. Commissioner Jensen seconded the motion. The vote was as follows: Commissioner Hammer, “Aye”, Commissioner Proctor, “Aye”, Commissioner Sloan, “Aye”, Commissioner Gossett, “Aye”, Commissioner Jensen, “Aye”, Commissioner Anderson, “Aye”, Chairman Hamilton, “Aye”. There were none opposed. The motion passed 7-0.

4. Public Hearing and Decision on a Conditional Use Permit request by L & S Ventures to authorize the use of “Auto Impound Yard” to be conducted on approximately 1.65 acres of property located at 480 South Alexander Drive in the Industrial Zoning District.

Mr. Page presented the proposal and confirmed the site was currently located in an industrial zoning designation. He outlined staff recommendations for conditions to be imposed on the permit to ensure compliance with city regulations and to mitigate potential detrimental effects. These conditions included the installation of a sight-obscuring fence of sufficient height to block views of the impounded vehicles, placement of a sign on the exterior of the fence displaying the business name, phone number, and address, ensuring visibility from 50 feet and compliance with city sign ordinances, maintenance of the exterior portion of the business, keeping it free from debris, oil, waste, or vehicle parts, and ensuring that no vehicle or part thereof is placed closer than two feet from any fence.

Commissioner Hammer inquired about measures to mitigate potential fluid leaks from impounded vehicles, expressing concerns about environmental impacts. Mr. Page noted that vehicles would primarily be intact, impounded vehicles, not necessarily wrecked, which might reduce the likelihood of leaks. However, he deferred to the applicant for specific mitigation plans.

There being no further questions from the Commission, Chairman Hamilton opened the floor for public comment at 7:19 pm. There were no comments. Chairman Hamilton closed the floor at 7:19 pm.

The applicant, Jake Stewart addressed Commission, confirming plans to use a gravel surface treated with roto mill. He also explained that for any vehicles leaking fluids, containment measures such as placing drip pans beneath them would be implemented to prevent environmental contamination.

Mr. Stewart addressed a phasing plan for fencing, noting that the entire 1.65 acre property would not need to be fenced immediately, but he would expand the fence as the business grew and more space was needed. The Commission agreed that all vehicles must be stored within an eight-foot tall, sight-obscuring fence, with the possibility of expanding the fenced area as needed.

Motion: Commissioner Sloan moved to approve the CUP with the conditions to add the roto mill or equivalent to the surface, to keep all cars stored within a sight-obscuring fence, add signage, and a plan to capture spills with a pan and to dispose of those fluids. Commissioner Anderson seconded the motion. The vote was as follows: Commissioner Hammer, “Aye”, Commissioner Proctor, “Aye”, Commissioner Sloan, “Aye”, Commissioner Gossett, “Aye”, Commissioner Jensen, “Aye”, Commissioner Anderson, “Aye”, Chairman Hamilton, “Aye”. There were none opposed. The motion passed 7-0.

5. Public Hearing and Recommendation on a Zoning Map Amendment request by Bach Homes, LLC, to amend the conditions of the PUD (Planned Unit Development) overlay regarding building setbacks and lot sizes for approximately 9.06 acres located at approximately 650 North 700 West in the R-17 PUD Zoning District.

Mr. Aagard explained that the existing configuration, where sewer easements were part of individual lots, restricted homeowners’ use of their property and possessed challenges for city maintenance. To resolve these issues, the proposal recommended deeding the sewer easements to the city, thereby removing them from private ownership. This change would necessitate reducing the minimum lot size from 6,000 to 5,000 square feet and adjusting rear yard setbacks to a minimum of 15 feet from the south property line of the 12-foot sewer easement for the affected lots. These amendments would not alter the overall layout or density of the subdivision but would result in smaller backyards for the impacted properties.

Commissioner Jensen inquired about the width of the sewer easements, noting discrepancies between 10 and 12 feet in the staff report. Mr. Aagard clarified that while earlier phases had 10-foot easements, the current and future phases were planned with 12-foot easements to provide adequate space for maintenance. The applicant, Derek Rindlisbacher, conformed this, stating that the intention was to implement 12-foot easements starting in Phase 7.

There being no further questions from the Commission, Chairman Hamilton opened the floor for public comment at 7:34 pm.

Jeremy Bolton, a property owner from an earlier phase of the development, expressed concern about potential impacts on his property. Mr. Aagard assured him that the proposed changes would only apply to new properties in the forthcoming phases and would not affect existing lots.

Mr. Aagard noted he had also received an emailed comment from an individual in the affected area, who inquired about the specifics of the amendment. After receiving an explanation regarding the sewer line easement involved, the individual acknowledged the information without expressing support or opposition.

There being no further public comments, Chairman Hamilton closed the floor at 7:36 pm.

Mr. Baker clarified that, upon approval of the proposal, the areas currently designated as sewer easements within the new phases would be deeded to the city. This change would transform these sections into city-owned property lines, eliminating the concept of easements in these areas. By making this distinction, clear ownership and maintenance responsibilities for the sewer line and the property above it would be ensured.

Motion: Commissioner Jensen moved to make a positive recommendation to City Council for the Copper Canyon PUD zoning map amendment request by Derek Rindlisbacher, representing Bach Homes, LLC, for the purpose of amending the conditions of the PUD overlay, as described in the staff report, application number 2024066, based on the findings listed in the staff report dated December 3, 2024. Commissioner Hammer seconded the motion. The vote was as follows: Commissioner Hammer, “Aye”, Commissioner Proctor, “Aye”, Commissioner Sloan, “Aye”, Commissioner Gossett, “Aye”, Commissioner Jensen, “Aye”, Commissioner Anderson, “Aye”, Chairman Hamilton, “Aye”. There were none opposed. The motion passed 7-0.

6. Decision on a Preliminary Subdivision Plan request by David Lewis IV, representing D.R. Horton for Western Acres Phase 2C to create 44 town house style residential lots on approximately 5.8 acres located at approximately 1700 North 300 East in the MR-16 PUD Multi-Family Residential zoning district.

Mr. Aagard presented the subdivision area and noted it was zoned as MR-16 PUD, which was approved several years back. A significant aspect of the plan was the extension of Copper Canyon Road, an 84-foot right-of-way, which would eventually connect to 1000 North, aligning with the city’s Transportation Master Plan. Additionally, the development incorporated the Middle Canyon drainage on its west side, where D.R. Horton had invested in improvements, including a trail system designed to link with the trail network in England Acres Park and extend to Smelter Road. After reviewing the proposal, Mr. Aagard confirmed that it met all relevant standards and ordinances, and recommended approval with the conditions outlined in the staff report. There were no questions from the Commission.

Motion: Commissioner Anderson moved to approve the preliminary subdivision plan request by David Lewis IV, representing D.R. Horton for Western Acres Phase 2C, application number 2024053, based on the findings and subject to the conditions listed in the Staff Report dated December 4, 2024. Commissioner Proctor seconded the motion. The vote was as follows: Commissioner Hammer, “Aye”, Commissioner Proctor, “Aye”, Commissioner Sloan, “Aye”, Commissioner Gossett, “Aye”, Commissioner Jensen, “Aye”, Commissioner Anderson, “Aye”, Chairman Hamilton, “Aye”. There were none opposed. The motion passed 7-0.

7. Decision on a Preliminary Subdivision Plan request by Travis Sutherland to subdivide approximately 17 acres of property into 36 single-family residential lots located at approximately 600 South Oakridge Drive in the R1-12 Residential zoning district.

Mr. Aagard presented the proposal and highlighted that the subdivision was located in Bison Ridge, which was in a Sensitive Area Overlay Zone which followed specific grading requirements. The lots met or exceeded the standards of the R1-12 Zoning District and sensitive area regulations. The subdivision connected to existing stub streets and Deer Hollow to the southeast. The roads would be public streets, and two stormwater detention basins would be transferred to the city for ownership and maintenance.

Commissioner Proctor raised a concern regarding the water line located within 10 feet of two lots. City Engineer Paul Hansen clarified that the issue would be resolved during construction by ensuring sufficient setbacks to protect the water line and homes.

Mr. Baker provided the city's history of acquiring the surrounding land as part of an open space initiative, with portions deemed suitable for development. The sale of these portions helped recover costs for the city's open space acquisition of property located immediately to the south.

Motion: Commissioner Sloan moved to approve a positive recommendation to City Council for the Hidden Hollow preliminary plan subdivision request by Travis Sutherland, for the purpose of creating 36 single-family residential lots, application number 2024039, based on the findings and subject to the conditions listed in the staff report dated December 4, 2024. Commissioner Anderson seconded the motion. The vote was as follows: Commissioner Hammer, "Aye", Commissioner Proctor, "Aye", Commissioner Sloan, "Aye", Commissioner Gossett, "Aye", Commissioner Jensen, "Aye", Commissioner Anderson, "Aye", Chairman Hamilton, "Aye". There were none opposed. The motion passed 7-0.

8. City Council Reports

Council Member Manzione stated she had nothing to report and wished the Planning Commissioners happy holidays.

9. Review and Decision – Minutes of the Planning Commission meeting held November 13, 2024

Council Member Manzione noted she was not listed on the attendance list, but was present.

Motion: Commissioner Hammer moved to approve the November 13, 2024 Planning Commission minutes with the noted correction. Commissioner Sloan seconded the motion. The vote was as follows: Commissioner Hammer, "Aye", Commissioner Proctor, "Aye", Commissioner Sloan, "Aye", Commissioner Gossett, "Aye", Commissioner Jensen, "Aye", Commissioner Anderson, "Aye", Chairman Hamilton, "Aye". There were none opposed. The motion passed 7-0.

10. Review and Approval – Planning Commission meeting schedule for 2025.

Mr. Aagard presented the proposed 2025 meeting schedule, noting that it followed the standard practice of holding meetings on the second and fourth Wednesdays of each month, with the exception of November and December, when only one meeting was scheduled due to the holidays.

Motion: Commissioner Hammer moved to approve the 2025 meeting schedule as presented. Chair Hamilton seconded the motion. The vote was as follows: Commissioner Hammer, "Aye", Commissioner Proctor, "Aye", Commissioner Sloan, "Aye", Commissioner Gossett, "Aye", Commissioner Jensen, "Aye", Commissioner

Anderson, “Aye”, Chairman Hamilton, “Aye”. There were none opposed. The motion passed 7-0.

11. Decision – Election of Planning Commission Chair and Vice Chair for 2025.

Mr. Aagard explained that Chair Hamilton was ineligible to serve a third consecutive term due to the bylaws, which limited the Chair’s role to two consecutive terms. He could, however, return as Chair in 2026. Mr. Aagard acknowledged Tyson's excellent service over the past two years, expressing appreciation for his leadership. The Vice Chair position, on the other hand, had no term limits, allowing the same individual to serve consecutive years.

A nomination was made to elect Commissioner Matt Robinson as the new Chair.

Motion: Commissioner Sloan moved to nominate Commissioner Matt Robinson to serve as the Planning Commission Chair. Commissioner Hammer made the second. The vote was as follows: Commissioner Hammer, “Aye”, Commissioner Proctor, “Aye”, Commissioner Sloan, “Aye”, Commissioner Gossett, “Aye”, Commissioner Jensen, “Aye”, Commissioner Anderson, “Aye”, Chairman Hamilton, “Aye”. There were none opposed. The motion passed 7-0.

Motion: Commissioner Anderson moved to nominate Chris Sloan to serve as Vice Chair of the Planning Commission. Commissioner Hammer seconded the motion. The vote was as follows: Commissioner Hammer, “Aye”, Commissioner Proctor, “Aye”, Commissioner Sloan, “Nay”, Commissioner Gossett, “Aye”, Commissioner Jensen, “Aye”, Commissioner Anderson, “Aye”, Chairman Hamilton, “Aye”. There were none opposed. The motion passed 6-1.

Commissioner Sloan thanked Chairman Hamilton for serving as the Chair for the last two years.

12. Planning Commission Training – Planning Commission Bylaws.

Mr. Aagard presented and reviewed the Planning Commission Bylaws as part of required annual training for Planning Commissioners.

The Commission discussed two updates to the bylaws, which included the procedure for communications of absences, and being more consistent with Council bylaws.

13. Adjourn

Commissioner Hammer adjourned the meeting at 8:51 p.m.

The content of the minutes is not intended, nor are they submitted, as a verbatim transcription of the meeting. These minutes are a brief overview of what occurred at the meeting.

Approved this ____ day of January, 2025

Tyson Hamilton, Tooele City Planning Commission Chair