

PUBLIC NOTICE

NOTICE IS HEREBY GIVEN THAT the Tooele City Planning Commission will meet in a business meeting scheduled for **Wednesday, September 25, 2024** at the hour of 7:00 p.m. The meeting will be held in the City Council Chambers of Tooele City Hall, located at 90 North Main Street, Tooele, Utah.

We encourage anyone interested to join the Planning Commission meeting electronically through Tooele City's YouTube channel by logging onto www.youtube.com/@tooelecity or searching for our YouTube handle **@tooelecity**. If you would like to submit a comment for any public hearing item you may email pcpubliccomment@tooelecity.gov any time after the advertisement of this agenda and before the close of the hearing for that item during the meeting. Emails will only be read for public hearing items at the designated points in the meeting.

AGENDA

1. **Pledge of Allegiance**
2. **Roll Call**
3. **Public Hearing, Review and Decision** – Application #2024-048. A request by Smith's Food & Drug Centers, Inc. for Conditional Use Approval to allow an accessory drive-thru facility on property located at approximately 2400 N. Main Street in the GC, General Commercial zoning district. *Jared Hall, City Planner presenting*
4. **Review and Decision** – Application #2024-044. A request by UPDWELL HOMES for Site Plan and Design Review approval for the Lot 107 Townhomes of Lexington Greens, a multi-family residential project on property located at 620 W. Carole's Way in the MR-16 Multi-Family Residential zoning district. *Jared Hall, City Planner presenting*
5. **City Council Reports**
6. **Review and Decision** – Minutes of the Planning Commission meeting held September 11, 2024
7. **Adjourn**

Pursuant to the Americans with Disabilities Act, individuals needing special accommodations during this meeting should notify Jared Hall, Tooele City Planner prior to the meeting at (435) 843-2132.

STAFF REPORT
September 20, 2024

To: Tooele City Planning Commission
Business Date: September 25, 2024

From: Planning Division
Community Development Department

Prepared By: Jared Hall, City Planner / Zoning Administrator

Re: Smith's Marketplace – Conditional Use Permit Request, Drive-Thru Facility

Application No.: 2024-048
Applicant: Smith's Food & Drug Centers, Inc.
Project Location: Approximately 2400 N. Main Street
Zoning: GC, General Commercial
Acreage: 10.2 acres
Request: Conditional Use Permit Approval for an Accessory Drive-Thru Facility

BACKGROUND

The applicant, Smith's Food & Drug Centers, is preparing to develop a 123,000 ft² Smith's Marketplace as part of a commercial shopping center being planned on the subject property, located along the west side of Main Street and 2400 North. The proposed Smith's Marketplace is allowed as a permitted use in the GC zoning district, and only the accessory drive-thru window planned for the pharmacy within the Marketplace requires Conditional Use Permit approval by the Planning Commission.

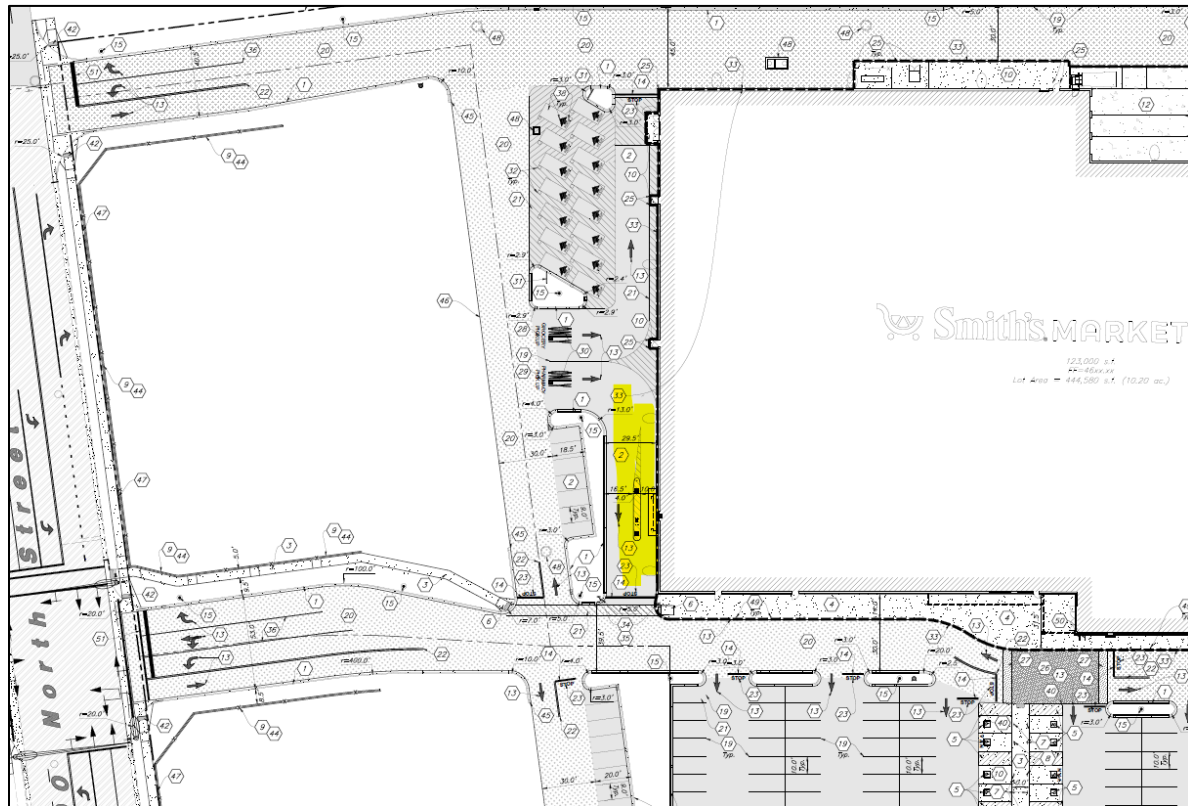
ANALYSIS

General Plan and Zoning. The subject property is located in the GC, General Commercial zoning district. "Accessory Drive-Thru Facilities" are allowed in the GC Zone with conditional use approval. The purpose of the GC zoning district is "to encourage the establishment of a wide variety of retail commercial uses, service commercial activities, entertainment and other services and activities meeting the needs of the residents of the city." The area around 2400 North has experienced, and will likely continue to experience, more population growth. Properties to the immediate north and west are undeveloped, but the site is in close proximity to additional commercial development such as the Home Depot as well as to the new Deseret Peak High School campus, and the residential development that continues to expand northward.

The subject property is a part of the "Compass Point" plans being developed in this area, which will include significant new commercial and residential developments both north and west of 2400 North. The location is well suited for service-oriented retail, and Staff finds that the proposed use of the site for a shopping center with a drive-thru pharmacy and the other amenities it will provide to be both beneficial to and compatible with the overall development pattern in the surrounding area. Mapping pertaining to the subject property can be found in Exhibit "A", attached to this report.

Site Plan Layout. The pharmacy and the drive-thru window will be located on the south side of the building. The Smith's Marketplace lot itself is not directly adjacent to the 2400 North right-of-way, but a principal access into the site is located relatively near to the pharmacy drive-thru window access. Traffic to the pharmacy (as well as to grocery pick-up locations) will leave the main access, turning west and then looping around to the window. Upon exiting the pharmacy window's drive-thru lane, traffic would proceed back onto the main site

access, left or right. The applicant has provided a site plan for review which is attached to this report with Exhibit “B”. See the figure below highlighting the area of the drive-thru in relation to project entrance and main access.



Parking & Access: The parking areas for the shopping center are not impacted by the location of the drive-thru facility. The site planning separates the two customer-oriented, in-vehicle aspects of the Marketplace store (the pharmacy drive-thru and grocery pick-up spaces) from the other functions and the larger parking area, assuring that access to the larger parking field, to the surrounding pad sites and uses, and delivery services are less impacted.

Traffic: The proposed shopping center is a large development that will generate significant vehicular traffic which must be well managed to avoid impacts to the surrounding area. A traffic impact study is part of the site plan applications, and will play a role in the final approved designs. Staff will recommend that the applicants adhere to the recommendations of the traffic impact study in order to best mitigate the impacts of traffic to the area.

Pedestrian Safety: A pedestrian sidewalk is planned to enter the shopping center from 2400 North, connecting an internal pedestrian walkway system with the public sidewalks in the area. Pedestrian safety is always a concern in busy shopping centers. The walkway in question passes in front of the vehicular access to and from the drive-thru window (see the figure above.) The site plan shows it to be delineated as a painted crosswalk. Staff will suggest that it should also be raised or textured as a condition of approval in order to promote more driver attention when crossing it, thereby increasing pedestrian safety.

Landscaping: The location of the drive-thru facility includes a landscaped parking island with seven (7) total spaces. The landscaping in the island will soften the visual impact of the vehicles waiting in queue there as visitors to the shopping center enter the site from 2400 North. Landscaping plans are included in Exhibit “B”.

Criteria for Approval. The criteria for review and potential approval of a Conditional Use Permit request is found in Sections 7-5-3(3) and (4) of the Tooele City Code. This section depicts the standard of review for such requests as:

- (3) Procedure. At the public hearing, testimony may be given by the applicant and all other persons either in support of or in opposition to the application. The Planning Commission may take the application under advisement, but shall render its determination within 30 days of the date of the hearing.
- (4) Approval. The Planning Commission shall approve the conditional use application if reasonable conditions are proposed, or can be imposed, to mitigate the reasonably anticipated detrimental effects of the proposed use. If the reasonably anticipated detrimental effects of a proposed conditional use cannot be substantially mitigated by the proposal or the imposition of reasonable conditions to achieve compliance with applicable standards, the conditional use may be denied.

Findings of Fact. As a part of the approval or denial of a Conditional Use Permit a finding of fact according to Sections 7-5-4 of the Tooele City Code is required. This section depicts the standard for findings of fact:

Prior to approving or denying a Conditional Use Permit application the Planning Commission shall make, in the business meeting at which the public hearing is conducted or the permit is approved or denied, a finding of the following facts:

- (1) The reasonably anticipated detrimental effects of the proposed use upon adjacent and nearby persons and properties;
- (2) The evidence identified regarding the identified reasonably anticipated detrimental effects of the proposed use;
- (3) The reasonable conditions imposed, as part of the Conditional Use Permit approval, intended to mitigate the reasonably anticipated detrimental effects of the proposed use;
- (4) The reasons why the imposed conditions are anticipated or hoped to mitigate the reasonably anticipated detrimental effects of the proposed use;
- (5) The evidence, if any, identified regarding the ability of the imposed conditions to mitigate the reasonably anticipated detrimental effects of the proposed use.

In response to the City Code requirement for findings of fact, the following are the staff responses and comments on the potential effects this application, should it be approved, upon adjacent and nearby persons and property:

1. The application presents the challenges of construction and development resulting from its approval. Construction and development presents the necessity for work to be done properly and safely, particularly for connection into the City's public infrastructure, for those doing the work as well as those employees and citizens that may patronize the business. As such, it is imperative that all construction and development activities comply with property regulations which can be assured through the City's Engineering, Public Works, Fire Department and Building Division plan reviews, permitting, and inspection processes.
2. The proposed accessory drive-thru window is an aspect of an anchor retail use within a larger shopping center that will bring needed services to the area, but will also bring traffic that needs to be managed efficiently to prevent issues for the surrounding area. Staff will recommend that the applicants adhere to recommendations of the traffic impact study.

3. While traffic throughout needs to be considered, the safety and interactions of pedestrians and vehicular traffic should be considered specifically with respect to the drive-thru use as well, as it is positioned along a primary access of the larger site.

REVIEWS

Planning Division Review. The Tooele City Planning Division has completed their review of the Conditional Use Permit submission and recommends approval for the request with the following comments:

1. The applicant will need to meet all City requirements for Site Plan Approval and Subdivision.
2. The applicant should include a raising or texturing of the pedestrian crosswalk adjacent to the drive-thru facility with the Site Plan. This will improve the safety of pedestrian and vehicular interactions there.

Engineering and Public Works Review. The Tooele City Engineering Division and the Public Works recommend approval with the condition that the applicant continue to work with the City on applications for Site Plan and Subdivision approval, and meet all requirements of the City during development of the site.

Tooele City Fire Department Review. The Tooele City Fire Department recommends approval with the condition that the site development meets all applicable requirements of the Building and Fire Codes.

NOTICING

Notice of the public hearing has been properly posted and issued as outlined in the City and State Codes. Notices were also sent to adjoining property owners as required. No comments or questions have been received as of the writing of this report, 9/20/24.

STAFF RECOMMENDATION

Staff recommends APPROVAL of the request for Conditional Use Permit to allow an accessory drive-thru facility in the GC zoning district, subject to the following conditions:

1. All requirements of the Tooele City Engineering Division shall be satisfied throughout the development and construction of the site, including permitting.
2. All requirements of the Tooele City Public Works Department shall be satisfied throughout the development and construction of the site, including permitting.
3. The applicant shall meet all applicable Building and Fire Codes, and all requirements of the Tooele City Fire Department shall be satisfied throughout the development and construction of the site, including permitting.
4. The applicant shall meet all City development requirements to obtain Site Plan and Subdivision approvals for the project.
5. The applicant shall adhere to recommendations of the traffic impact study.
6. The applicant shall include a raised or textured crosswalk for pedestrians adjacent to the proposed drive-thru access.

This recommendation is based on the following findings:

1. The proposed use meets the intent, goals, and objectives of the Tooele City General Plan and

the GC, General Commercial zoning district.

2. With conditions, the proposed use will meet the requirements and provisions of the Tooele City Code.
3. With conditions, the proposed use will not be deleterious to the health, safety, and general welfare of the general public nor the residents of adjacent properties.
4. With conditions, the proposed use will not negatively impact public services in the area.
5. Potential impacts of the use have been identified in this report. The recommended conditions are intended to mitigate those impacts as required by Tooele City Code Section 7-5-4.

MODEL MOTIONS

Sample Motion for Approval – “I move we APPROVE the request for Conditional Use Permit, application #2024-048 by Smith’s Food & Drug Centers to allow an accessory drive-thru facility on the subject property located at 2400 N. Main Street in the GC, General Commercial zoning district based on the findings of fact and subject to the conditions listed in the Staff Report dated September 20, 2024.”

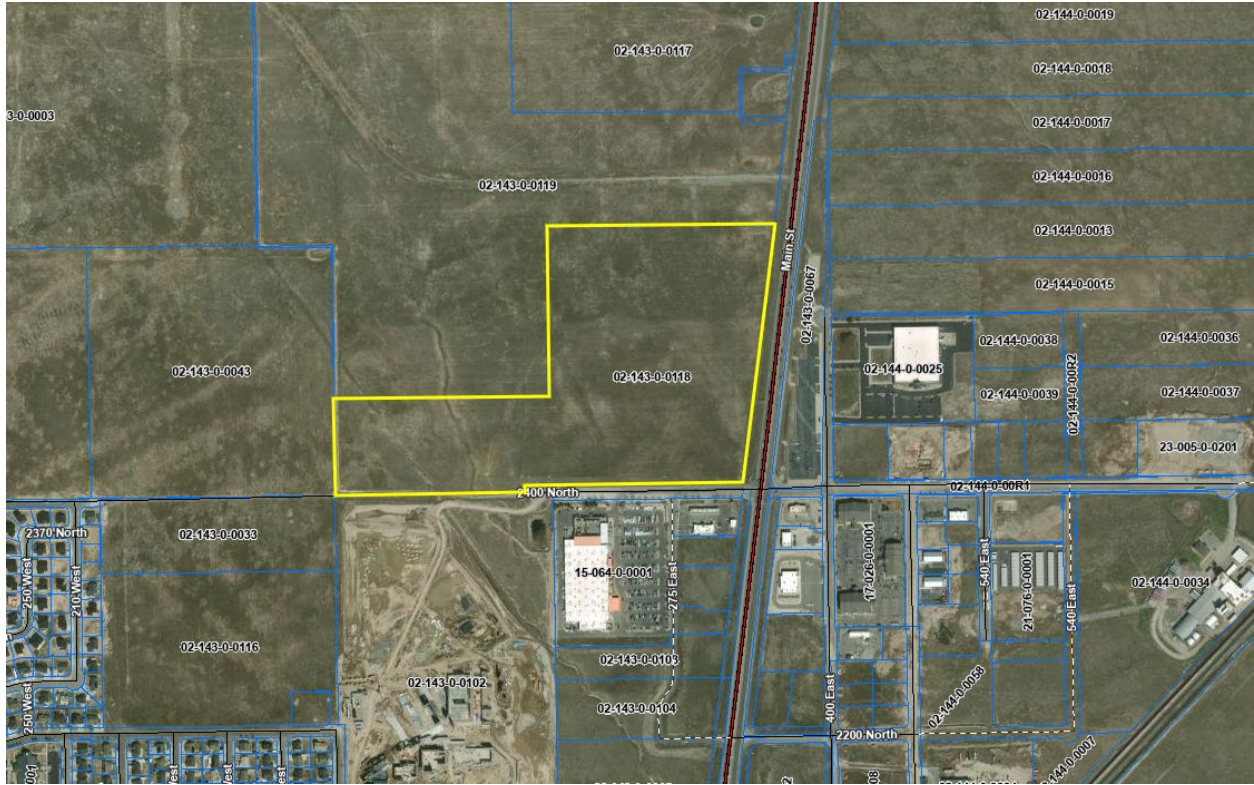
1. List any additional findings of fact and/or conditions

Sample Motion for Denial – “I move we DENY the request for Conditional Use Permit, application #2024-048 by Smith’s Food & Drug Centers to allow an accessory drive-thru facility on the subject property located at 2400 N. Main Street in the GC, General Commercial zoning district based on the following findings of fact...”

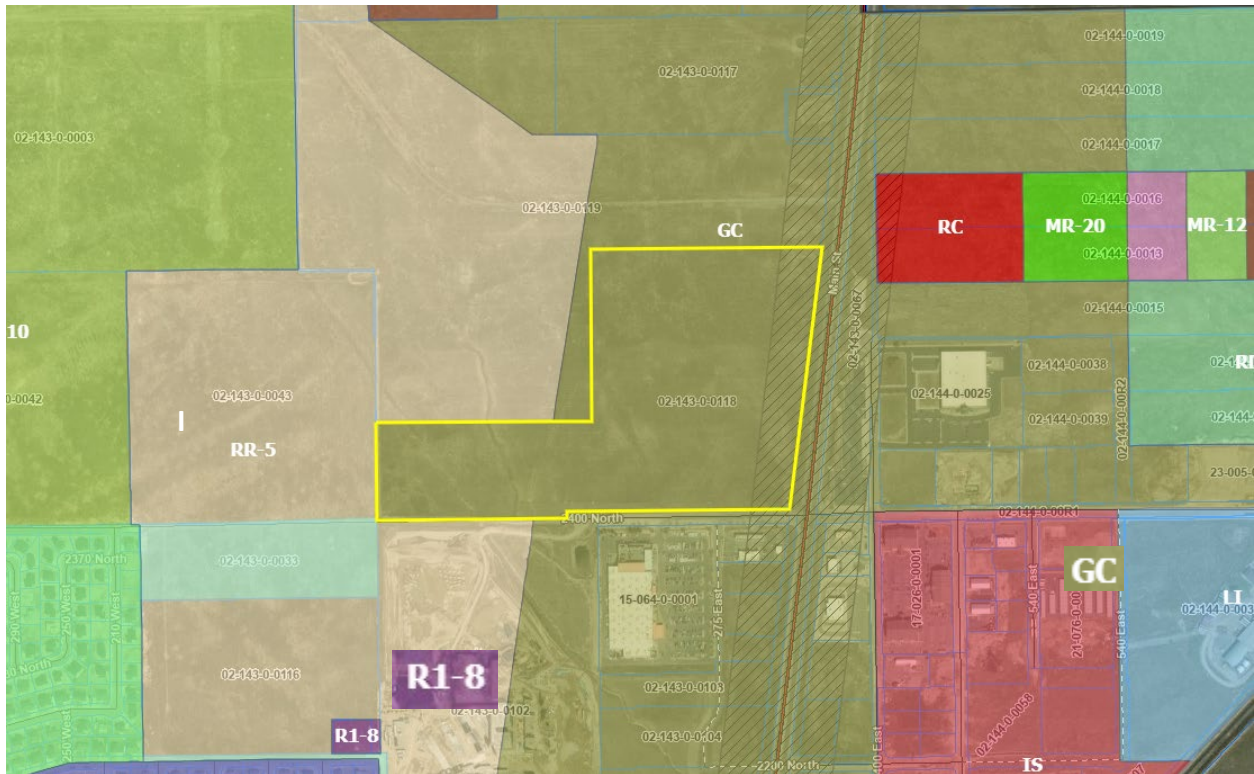
1. List findings of fact

EXHIBIT A

MAPPING PERTAINING TO THE REQUEST



1: Subject Property, aerial view



2: Subject Property, zoning

EXHIBIT B


APPLICANT SUBMITTED INFORMATION

Conditional Use Permit Application

Community Development Department
 90 North Main Street, Tooele, UT 84074
 (435) 843-2132 Fax (435) 843-2139
www.tooelecity.gov



Notice: The applicant must submit copies of the pertinent plans and documents to be reviewed by the City in accordance with the terms of the Tooele City Code. All submitted Conditional Use Permit applications shall be reviewed in accordance with all applicable City ordinances and requirements, are subject to compliance reviews by various City departments, and may be returned to the applicant for revision if the plans are found to be inadequate or inconsistent with the requirements of the City Code. Application submission in no way guarantees placement of the application on any particular agenda of any City reviewing body. It is strongly advised that all checklist items be submitted well in advance of any anticipated deadlines.

| Project Information | | | | | |
|---|-----------|---|---|--|------------|
| Date of Submission: 8/15/2024 | | Current Zoning: General Commercial (GC) | | Parcel #(s): 02-143-0-0118 (Subdivision Pending) | |
| Project Name: SMITH'S #290 MARKETPLACE (LOT 1) | | | | Acres: 10.209 | |
| Project Address: NWC 2400 N Main St | | | | Units: 1 | |
| Project Description: Grocery Store with Pharmacy Drive-Through (Accessory Drive through Facilities) Accessory Outside Sales and Display | | | | | |
| Current Use of Property: Agricultural | | | | | |
| Property Owner(s): LH Perry Investments, LLC | | | Applicant(s): Smith's Food & Drug Centers, Inc. | | |
| Address: 17 E Winchester | | | Address: 1550 S Redwood Road | | |
| City: Murray | State: UT | Zip: 84107 | City: Salt Lake City | State: UT | Zip: 84104 |
| Phone: 385-223-0309 | | | Phone: 801-974-1529 | | |
| Contact Person: Troy Wolverton (AWA) | | | Address: 2010 N Redwood Road | | |
| Phone: 801-410-8519 | | | City: Salt Lake City | State: UT | Zip: 84116 |
| Cellular: 801-831-2255 | Fax: | | Email: troyw@awaeng.com | | |
| Signature of Applicant:  | | | | | |
| Date August 15, 2024 | | | | | |

*The application you are submitting will become a public record pursuant to the provisions of the Utah State Government Records Access and Management Act (GRAMA). You are asked to furnish the information on this form for the purpose of identification and to expedite the processing of your request. This information will be used only so far as necessary for completing the transaction. If you decide not to supply the requested information, you should be aware that your application may take a longer time or may be impossible to complete. If you are an "at-risk government employee" as defined in *Utah Code Ann. § 63-2-302.5*, please inform the city employee accepting this information. Tooele City does not currently share your private, controlled or protected information with any other person or government entity.

** By submitting this application form to the City, the applicant acknowledges that the above list is not exclusive and under no circumstances waives any responsibility or obligation of the Applicant and of his Agents from full compliance with City Master Plans, Code, Rules and or Regulations.

| For Office Use Only | | | |
|---------------------|--------------|----------------|------------|
| Fee: (213) | Received By: | Date Received: | Receipt #: |

AFFIDAVIT

PROPERTY OWNER

STATE OF UTAH }
 }ss
COUNTY OF TOOELE }

I/we, William O Perry, being duly sworn, depose and say that I/we am/are the owner(s) of the property identified in the attached application and that the statements herein contained and the information provided in the attached plans and other exhibits are in all respects true and correct to the best of my/our knowledge. I/we also acknowledge that I/we have received written instructions regarding the application for which I/we am/are applying and the Tooele City Community Development Department staff have indicated they are available to assist me in making this application.

William O Perry

(Property Owner)
William O Perry

(Property Owner)

Subscribed and sworn to me this 16th day of August, 2024.



Sandy Allred

(Notary)
Residing in Salt Lake County, Utah
My commission expires: 12/29/2024

AGENT AUTHORIZATION

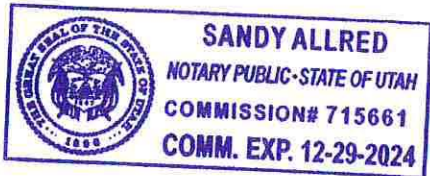
I/we, William O Perry, the owner(s) of the real property described in the attached application, do authorize as my/our agent(s), ANA Engineers, to represent me/us regarding the attached application and to appear on my/our behalf before any administrative or legislative body in the City considering this application and to act in all respects as our agent in matters pertaining to the attached application.

William O Perry

(Property Owner)
William O Perry

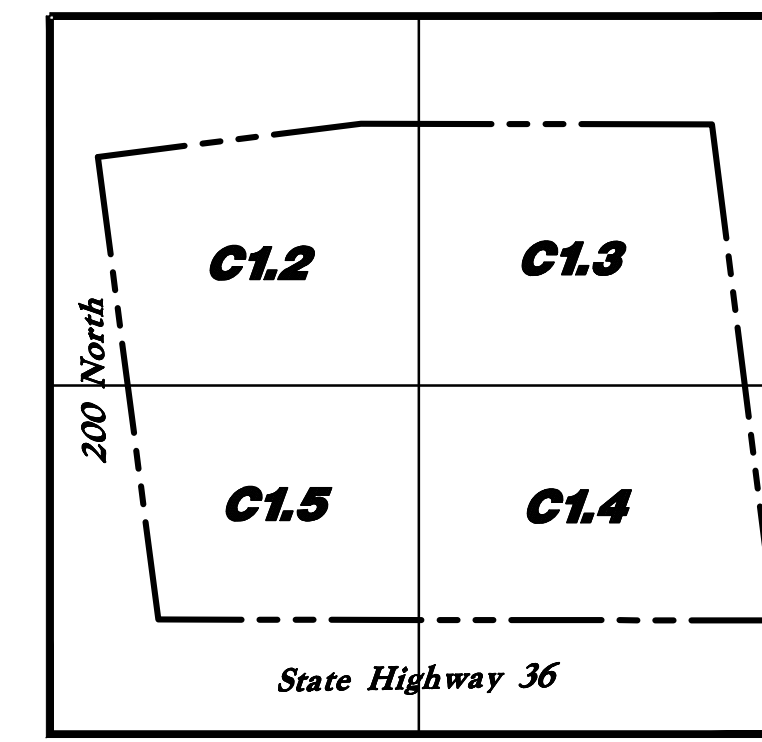
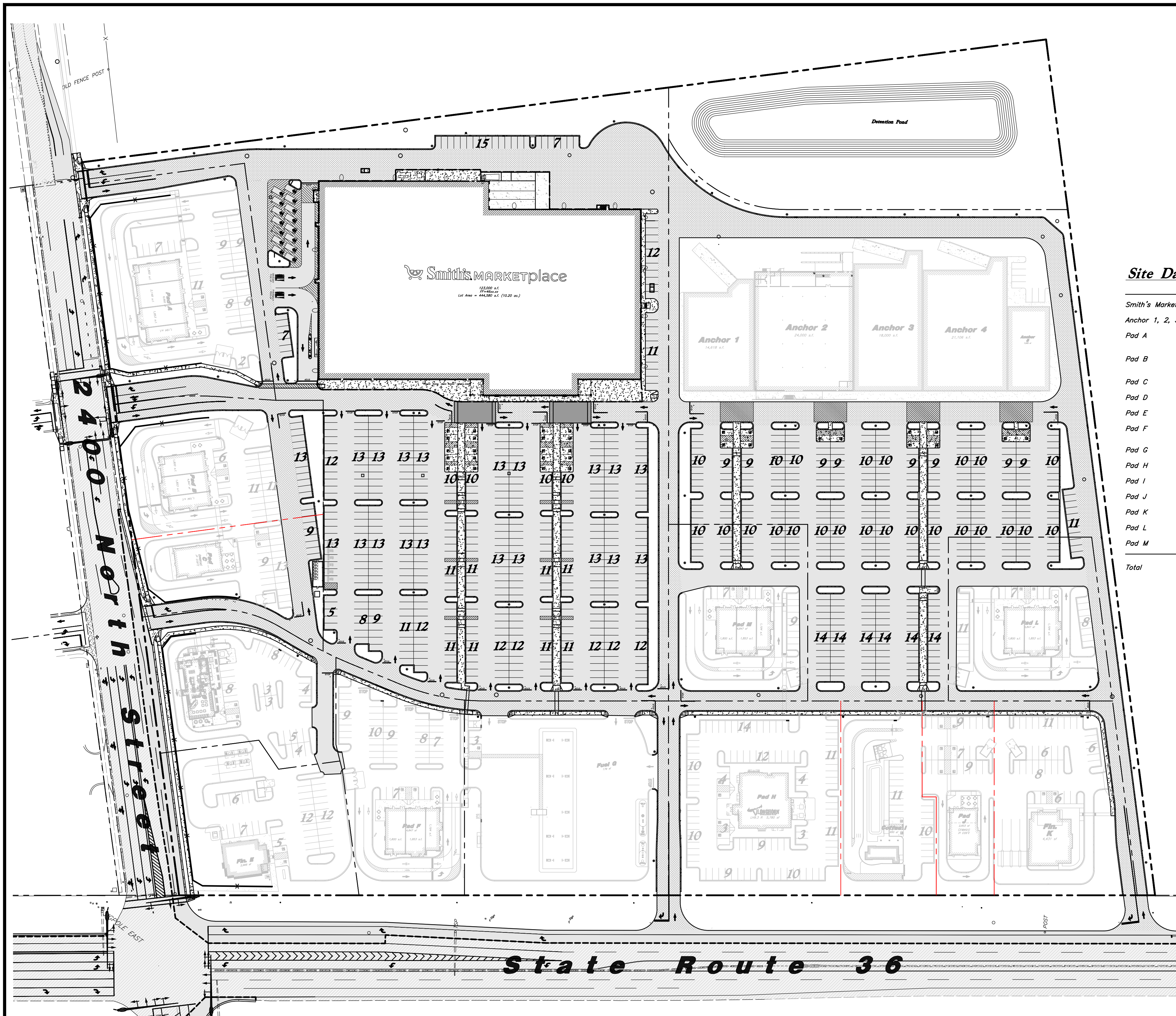
(Property Owner)

Dated this 16th day of August, 2024, personally appeared before me William O Perry, the signer(s) of the agent authorization who duly acknowledged to me that they executed the same.



Sandy Allred

(Notary)
Residing in Salt Lake County, Utah
My commission expires: 12/29/2024



Key Map
Not to Scale

Site Data:

| | Lot Area | Bldg. Area | Required | Provided | Impervious Area Provided | Landscape Required 5% | Landscape to be Provided | Percentage of Landscape Provided |
|----------------------|-----------------------|---------------------|--|---------------------|--------------------------|-----------------------|--------------------------|----------------------------------|
| Smith's Marketplace | 444,725 S.F. | 123,722 S.F. | 412 Stalls (1 Stalls/300 S.F.) | 544 Stalls | 283,254 S.F. | 22,236 S.F. | 37,749 S.F. | 8.5% |
| Anchor 1, 2, 3, 4, 5 | 335,926 S.F. | 84,924 S.F. | 283 Stalls (1 Stalls/300 S.F.) | 354 Stalls | 224,526 S.F. | 16,796 S.F. | 26,476 S.F. | 7.8% |
| Pad A | 73,205 S.F. | 6,995 S.F. | 70 Stalls (Restaurant: 1 Stalls/100 S.F.) 23 Stalls (Retail: 1 Stalls/300 S.F.) | 54 Stalls | 53,456 S.F. | 3,660 S.F. | 12,754 S.F. | 17.4% |
| Pad B | 51,747 S.F. | 4,847 S.F. | 48 Stalls (Restaurant: 1 Stalls/100 S.F.) 16 Stalls (Retail: 1 Stalls/300 S.F.) | 43 Stalls | 37,044 S.F. | 2,587 S.F. | 9,856 S.F. | 19.0% |
| Pad C | 34,682 S.F. | 2,603 S.F. | 26 Stalls (1 Stalls/100 S.F.) | 29 Stalls | 26,195 S.F. | 1,734 S.F. | 5,884 S.F. | 16.9% |
| Pad D | 48,752 S.F. | 3,076 S.F. | 31 Stalls (1 Stalls/100 S.F.) | 35 Stalls | 38,607 S.F. | 2,437 S.F. | 7,069 S.F. | 14.4% |
| Pad E | 50,975 S.F. | 2,966 S.F. | 15 Stalls (1 Stalls/200 S.F.) | 42 Stalls | 34,865 S.F. | 2,548 S.F. | 13,144 S.F. | 25.7% |
| Pad F | 51,003 S.F. | 4,847 S.F. | 48 Stalls (Restaurant: 1 Stalls/100 S.F.) 16 Stalls (Retail: 1 Stalls/300 S.F.) | 50 Stalls | 37,680 S.F. | 2,550 S.F. | 8,476 S.F. | 16.6% |
| Pad G | 79,493 S.F. | 159 S.F. | 1 Stalls (1 Stalls/300 S.F.) | 3 Stalls | 67,473 S.F. | 3,974 S.F. | 11,861 S.F. | 14.9% |
| Pad H | 67,088 S.F. | 5,780 S.F. | 58 Stalls (1 Stalls/100 S.F.) | 110 Stalls | 50,851 S.F. | 3,354 S.F. | 10,457 S.F. | 15.5% |
| Pad I | 34,456 S.F. | 950 S.F. | 10 Stalls (1 Stalls/100 S.F.) | 21 Stalls | 25,344 S.F. | 1,722 S.F. | 8,162 S.F. | 23.6% |
| Pad J | 25,270 S.F. | 2,603 S.F. | 26 Stalls (1 Stalls/100 S.F.) | 25 Stalls | 18,331 S.F. | 1,263 S.F. | 4,336 S.F. | 29.0% |
| Pad K | 50,902 S.F. | 4,431 S.F. | 22 Stalls (1 Stalls/200 S.F.) | 37 Stalls | 36,395 S.F. | 2,545 S.F. | 10,076 S.F. | 19.7% |
| Pad L | 50,513 S.F. | 4,487 S.F. | 45 Stalls (1 Stalls/100 S.F.) | 49 Stalls | 36,740 S.F. | 2,525 S.F. | 8,926 S.F. | 17.6% |
| Pad M | 49,253 S.F. | 4,847 S.F. | 45 Stalls (1 Stalls/100 S.F.) | 46 Stalls | 37,132 S.F. | 2,462 S.F. | 7,274 S.F. | 14.7% |
| Total | 1,447,990 S.F. | 257,237 S.F. | 1,140 Stalls | 1,442 Stalls | 1,008,253 S.F. | 72,399 S.F. | 182,500 S.F. | 12.6% |

Accessible Parking per IBC Table 1106.1 & IBC 1106.5:

| Total Parking | 2% Of Total Provided Parking Stalls | Accessible Parking Provided | Van Stalls Required | Van Stalls Provided |
|---------------|-------------------------------------|-----------------------------|---------------------|---------------------|
| 921 Stalls | 19 Stalls | 32 Stalls | 9 Stalls | 12 Stalls |

Hatch Legend

| | |
|-----------------|----------------------------|
| [Hatch Pattern] | Standard Asphalt Paving |
| [Hatch Pattern] | Heavy Duty Asphalt Paving |
| [Hatch Pattern] | Existing Asphalt Paving |
| [Hatch Pattern] | Standard Concrete Paving |
| [Hatch Pattern] | Heavy Duty Concrete Paving |
| [Hatch Pattern] | Existing Concrete Paving |
| [Hatch Pattern] | Building Interior |

Survey Control Note:
The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Anderson Wahlén and Associates ALTA Surveys or Anderson Wahlén and Associates construction improvement plans. Prior to proceeding with construction staking, the surveyor shall be responsible for verifying horizontal control from the survey monuments and for verifying any additional control points shown on an ALTA Survey, Improvement plan, or an electronic data provided by Anderson Wahlén and Associates. The surveyor shall also use the benchmarks as shown on the plan, and verify them against no less than three existing hard improvement elevations included on these plans or on electronic data provided by Anderson Wahlén and Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

Construction Survey Note:

The Construction Survey Layout for this project will be provided by Anderson Wahlén & Associates. The Layout, Proposal and Professional Services Agreement will be provided to the General Contractor(s) for inclusion in base bids. The Survey Layout proposal has been broken out into Building Costs and Site Costs for use in the Site Work Bid Form.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS
The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

General Site Notes:

- All dimensions are to back of curb unless otherwise noted.
- Fire lane markings and signs to be installed as directed by the Fire Marshal.
- Aisle markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
- Const. curb transition at all points where curb abuts sidewalk where possible.
- Contractor shall place asphalt paving in the direction of vehicle travel where possible.
- Limits of demolition/disturbed areas shown on the plans may not be an exact depiction. It is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid.

Approvals

| | |
|-------------------------------------|---------------|
| City Engineer - Tooele City | Approval Date |
| Land Use Authority | Approval Date |
| Tooele City Water Department | Approval Date |
| Tooele City Public Works Department | Approval Date |

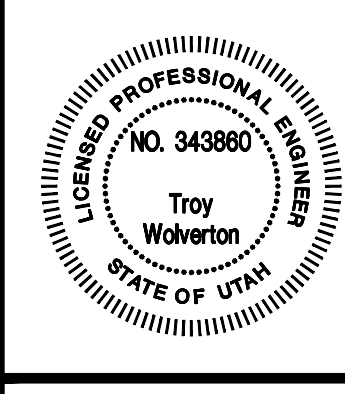


Smith's
FOOD & DRUG Centers, Inc.
1550 South Redwood Road
Salt Lake City, Utah 84104
Telephone (801) 974-1400
Attn: Mitch Mauer /Daniel Padron
290
Tooele, Utah

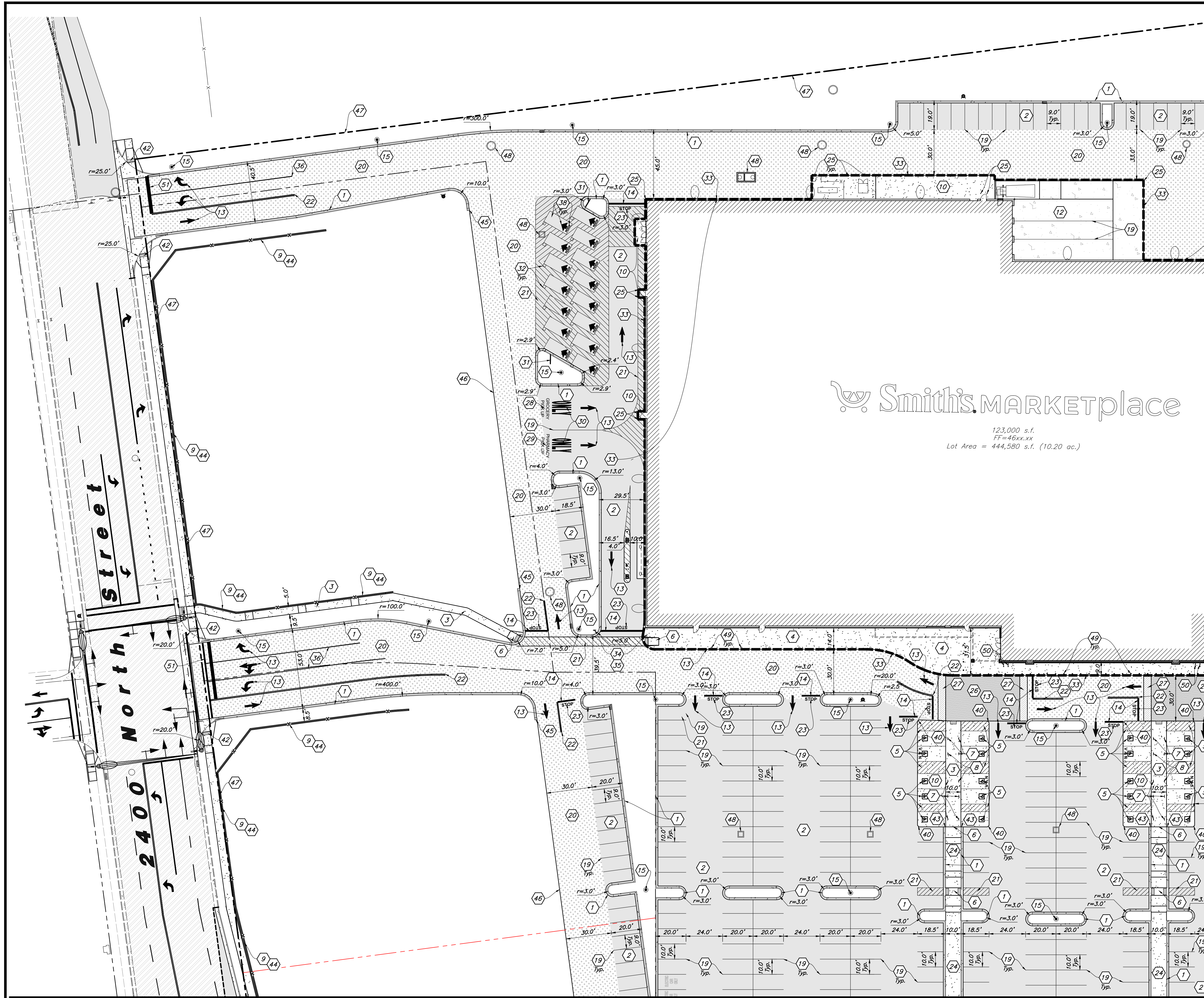
Designed by: TW
Drafted by: GM/SG
Client Name:
Smith's Food & Drug
smc290 SP



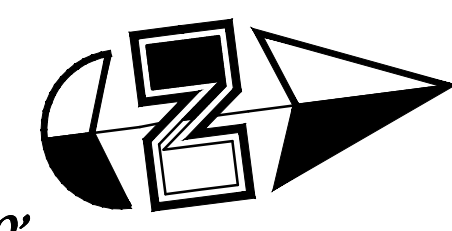
Overall Site Plan
Smith's #290 Marketplace
2400 North & State Route 36
Tooele, Utah



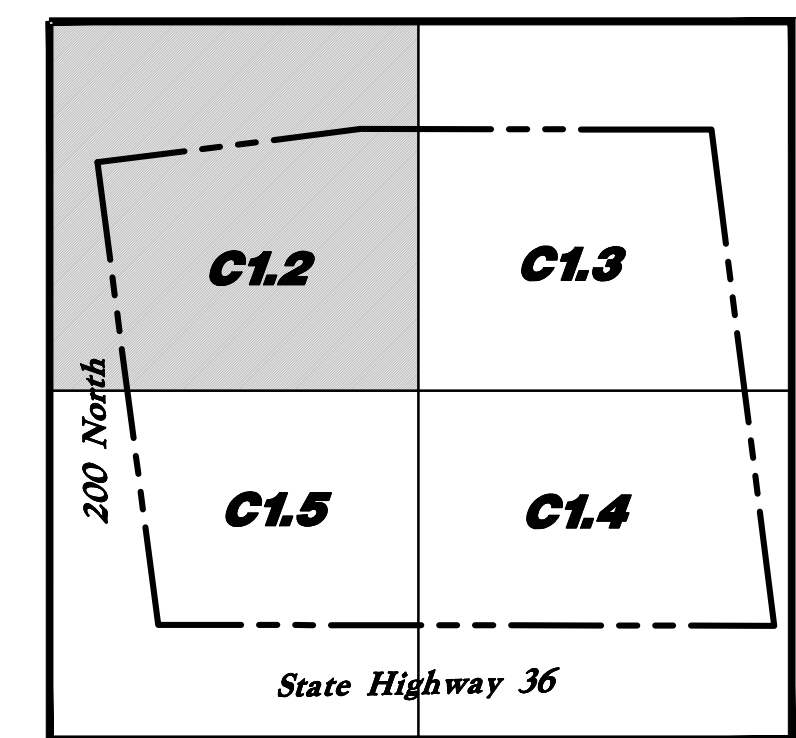
09 Aug, 2024
SHEET NO.
C1.0



Match Line - See Sheet C1.5



Scale: 1" = 30'



Designed by: TW
 Drafted by: GM/SG
 Client Name:
 Smith's Food & Drug
 smc290 SP

General Site Notes:

See Sheet C1.1

Site Construction Notes:

See Sheet C1.1

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Survey Control Note:

The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Anderson Wahlen and Associates ALTA Surveys or Anderson Wahlen and Associates construction improvement plans. Prior to proceeding with construction staking, the surveyor shall be responsible for verifying horizontal control from the survey monuments and for verifying any additional control points shown on an ALTA survey, improvement plan, or on electronic data provided by Anderson Wahlen and Associates. The surveyor shall also use the benchmarks as shown on the plan, and verify them against no less than three existing hard improvement elevations included on these plans or on electronic data provided by Anderson Wahlen and Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

Approvals

| | |
|-------------------------------------|---------------|
| City Engineer - Tooele City | Approval Date |
| Land Use Authority | Approval Date |
| Tooele City Water Department | Approval Date |
| Tooele City Public Works Department | Approval Date |

Hatch Legend

- Standard Asphalt Paving
- Heavy Duty Asphalt Paving
- Existing Asphalt Paving
- Standard Concrete Paving
- Heavy Duty Concrete Paving
- Existing Concrete Paving
- Building Interior

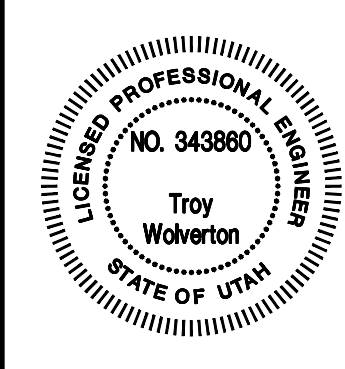
Know what's below. **811**
 Call 811 before you dig.

 BLUE STAKES OF UTAH
 UTILIZATION CENTER, INC.
 www.bluestakes.org
 1-800-662-4111

Smith's
FOOD & DRUG Centers, Inc.
 1550 South Redwood Road
 Salt Lake City, Utah 84104
 Telephone (801) 974-1400
 Attn: Mitch Mauer /Daniel Padron
290
 Tooele, Utah

AW&A
 2010 North Redwood Road, Salt Lake City, Utah 84116
 (801) 521-8529 - AW@engineering.net

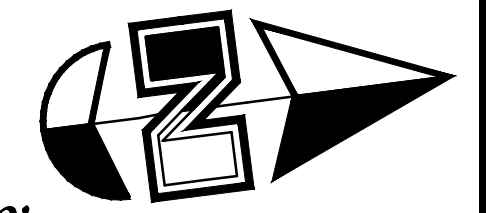
Site Plan
Smith's #290 Marketplace
 2400 North & State Route 36
 Tooele, Utah



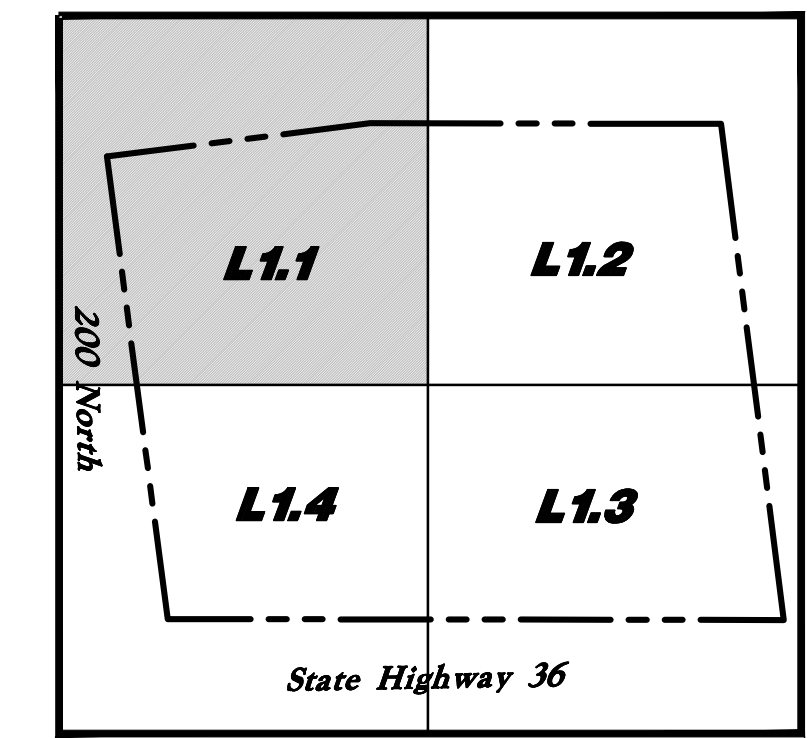
09 Aug, 2024

SHEET NO.
C1.2

| Approvals | |
|-------------------------------------|---------------|
| City Engineer - Tooele City | Approval Date |
| Land Use Authority | Approval Date |
| Tooele City Water Department | Approval Date |
| Tooele City Public Works Department | Approval Date |



Scale: 1" = 30'



Key Map
Not to Scale

Landscape Notes:

1. See Sheet L1.5 for Landscape Schedule, Notes, and Details.
2. All Landscape Material Shall be Fully Irrigated by an Automatic Irrigation System. Point Source Drip for Shrub Areas and Sprayheads for Lawn Areas. See Sheet L2.0-L2.4 for Irrigation Layout and Sheet L2.5 for Schedule, Notes, and Details.
3. Adjust Landscape Material as Needed to Allow Access to all New and Existing Utilities. Irrigation Components Shall be Spaced Between Plant Material to Allow Easy Access for Maintenance.
4. All Areas Disturbed by Construction Shall be Landscaped and not Left Undone. Contact Landscape Architect with Areas in Question.
5. No Edging Shall be Used Between Different Size Stone. Provide a Visual Define Distinct Edge Between the Two Stone Types.

Landscape Installation Keynotes

- 1 Install Shrub Area with Weed Barrier and Decorative Stone - See Material Schedule for Depth and Type
- 2 New Light Pole - See Site Elect. Plan; Evenly Place Plant Material Around Lights Poles
- 3 New Fire Hydrant - See Utility Plan; Evenly Place Plant Material Around Hydrants Allowing the Required Access
- 4 Install Landscape Boulder - See Material Schedule for More Detail; Recess Boulders in Stone and not Place on Top. Wash Boulders after Installation
- 5 Install Revegetation Seed Mix Around Pond and in Undeveloped Area that Could Potential Receive Future Retail Pad
- 6 Install Lawn in Parkstrip with Required Street Trees; Tree Spacing Every 30 I.F.
- 7 Future Retail Pad - See Civil Plans for Surface Treatment
- 8 Irrigation Backflow Preventer; Install Away From Back of Curb Between Plant Material; Install on a Concrete Pad, with an Enclosure; Secure Enclosure to Concrete Pad - See Irrigation Plans for More Detail
- 9 Install Stone in Detention Pond with Weed Barrier - See Material Schedule for Stone Type and Depth; Interlock Stone on Hillside and Secure Stone Around Pond Inlets to Prevent Stone From Moving When Water Enters Pond
- 10 Install Weed Barrier and Decorative Stone Only; No Plant Material or Irrigation; Area Will be Developed in the Future
- 11 New Retaining Wall - See Civil Plans for More Detail; Verify that Wall is Free of Dirt and Wash if Needed; Install Decorative Stone and Weed Barrier Between New Sidewalk and Wall to Prevent Weeds From Moving in

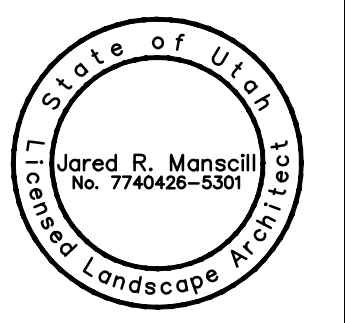


Smith's
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#290
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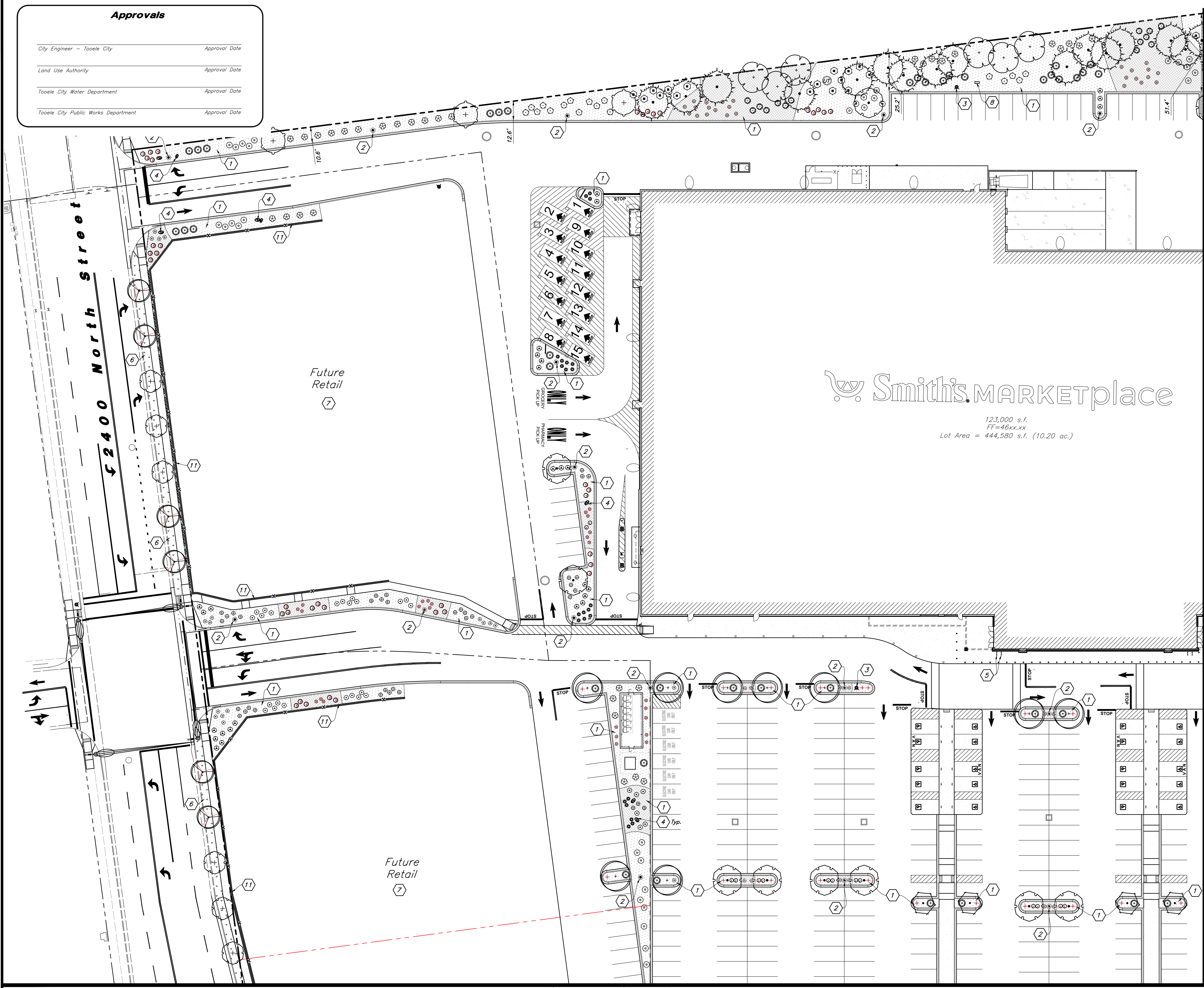


Landscape Plan
Smith's #290 Marketplace
 2400 North & State Route 36
 Tooele, Utah



09 Aug, 2024

SHEET NO.
L1.1



Smith's MARKETplace

123,000 s.f.
FF=46xx.xx
Lot Area = 444,580 s.f. (10.20 ac.)

Match Line - See Sheet L1.3

Match Line - See Sheet L1.5

STAFF REPORT

September 20, 2024

To: Tooele City Planning Commission
Business Date: September 25, 2024

From: Planning Division
Community Development Department

Prepared By: Jared Hall, City Planner / Zoning Administrator

Re: Lot 107 Townhomes of Lexington Greens – Site Plan Design Review Request

Application No.: 2024-044
Applicant: Updwell Homes
Project Location: 620 W. Carole’s Way
Zoning: MR-16 Multi-Family Residential Zone
Acreage: 1.27 acres
Request: Site Plan Design Review Approval 18-unit multi-family

BACKGROUND

Approvals were given for subdivision, site plan and design review the subject property (Lot 107 of Lexington Greens) in 2022. The subdivision was recorded, but the site plan approval has since expired. The current applicant, Updwell Homes, is purchasing the subdivision on Lot 107 and moving forward with the development of 18 townhomes on the property. This application is a request for Site Plan and Design Review approval, mirroring the previous approval for unit floor plans and site layout, but modifying the architecture and landscaping slightly to meet the City’s current standards.

ANALYSIS

General Plan and Zoning. The Land Use Map of the General Plan calls for the High Density Residential land use designation for the subject property. The subject property is located in the MR-16 Multi-Family Residential zoning district. The MR-16 Multi-Family Residential zoning designation is identified by the General Plan as a preferred zoning classification for the High Density Residential land use designation. All surrounding properties are zoned MR-16 Multi-Family Residential and are or will be utilized as such. Mapping pertinent to the subject request can be found in Exhibit “A” to this report.

Site Plan Layout. The site plan is proposed for Lot 107 of Lexington Greens, a 1.27 acre property on the northeast corner of Carole’s Way (about 1200 North) and 680 West. The recorded subdivision creates a single row of townhomes divided into four buildings extending east and west, facing Carole’s Way. Driveways to garages extend to each of the townhomes from Carole’s Way, which was dedicated and improved as a public right-of-way in the process of recording the subdivision. The buildings have been placed in a manner that provides front setback variation as required by ordinance, but also maximizes rear yard setbacks between the proposed town homes and future development to the north.

Subdivision Layout. The subdivision created individual lots to house the building foot prints of the proposed townhomes, resulting in 18 individual townhome lots that can be independently owned. The remaining areas outside of the building footprints are common and limited common areas which will be owned and maintained by the development home-owner’s association (HOA).

Setbacks. The project as proposed meets minimum requirements for setbacks in the MR-16 zoning district. Note that the front setback is varied. Although table 7-14 lists the standard front-yard setback for primary buildings in the MR-16 Zone as 25', the Design Standards in Chapter 7-11a allow for variation of front setbacks for multi-family dwelling buildings ranging between 10 and 20 feet as a minimum.

| Setback | Front | Rear | Interior Side | Corner Side |
|----------|------------------|-------|---------------|-------------|
| Required | 25' | 25' | 6' | 15' |
| Proposed | Varies (15'-25') | 33.9' | 6' | 73.2' |

Landscaping. The proposed landscaping plan includes 41 trees, 232 shrubs, 19,663 ft² of drought tolerant lawn areas (buffalo grass), 11,216 ft² of ground cover, and a 749 ft² play area as a common amenity. All landscaped areas are located within the common areas, and will be cared for by the HOA.

Design standards for multi-family residential development include landscaping requirements, found in Chapter 7-11a-12. The landscaping plans provided demonstrate substantial compliance with the landscaping standards for minimum area and for minimum quantities and types of plantings. Two issues should be resolved. First, sod and/or lawns are only permitted where the area is intended for active use. The landscaping plan should be modified to reflect that standard. Second, the ratio of coniferous trees to deciduous trees needs to be adjusted to meet the standard of a 60/40 ratio. Staff will recommend changes to the landscaping plan as a condition of approval.

Site Amenities. Multi-family residential developments are required to provide site amenities. Developments under 50 units must provide a minimum of one amenity. The amenity requirement is part of the Design Standards chapter regarding common areas. Acceptable amenities include tot lots or play structures, courtyards with benches, picnic tables, shade structures, etc., swimming pool, sports courts, and other active or passive recreational areas meeting the intent of the standard. The current proposal is for a play area, meeting this requirement.

Grading and Drainage. The west side of the subject property includes storm water detention facilities for the area, including a large basin adjacent to the corner of 680 West. The City Engineer and Public Works departments have reviewed and approved the plans on condition of some corrections to those plans. The needed corrections will not have any substantive impact on the site plan, layout, building position, or amenities.

Parking. Townhomes are required to provide 2.25 spaces per unit. Each of the units in the proposed development includes a two-car garage and driveways that are wide enough to accommodate two cars as well. Table 7-11a-13.1 of the Design Standards indicates that two-car garages coupled with two-car driveways will count three parking spaces toward the requirement. Although there is no separate guest parking area, the driveways and garages provided meet the City's parking requirements for multi-family residential development.

Architecture. The proposed town homes are 35' in height, meeting the allowed height standard (35'). The three story buildings will have pitched roofs with steps in the roofline to provide the necessary vertical variation required by the Design Standards.

The fronts of the buildings the garages and covered entries that extends out towards the street from the main building façade. Street facing facades are required to include 40% coverage of brick or stone. Current elevations tabulate the front façades of the five-unit buildings to include brick covering either 41%, but only 37% on the four-unit buildings. The coverage on the four-unit buildings will need to be increased. The west elevation is also street-facing, and has been required to include 40% brick as well.

The remaining exteriors are clad in a mix of board & batten and stucco. Board & Batten sections on the front façade extend approximately 24”, providing required vertical relief. Windows and doors are framed with trim in complimentary colors, by fiber cement trim of a color and type complimentary to surrounding siding.

Rear facades incorporate the same elements and materials providing horizontal relief but also include balconies for each unit. Siding is substituted for brick on the rear and east elevations.

Fencing. Required fencing will be installed along the north and east property lines. The applicant has requested flexibility in order to work with adjacent developments in providing the fencing.

Lighting. A minimum of one wall-mounted light fixture per ground-floor building or dwelling unit entrance is required by Code. The plans call for lights affixed to the walls at each entrance and beside each garage door. Other areas are not proposed to include lights, and none would be required by code.

Criteria for Approval. The criteria for review and potential approval of a Site Plan Design Review request is found in Sections 7-11-6, 8 and 9 of the Tooele City Code. This section depicts the standard of review for such requests as:

Site Plan or Site Plan Amendment 7-11-6, 8, and 9

Section 7-11-6. Approval. The Planning Commission, shall determine whether the proposed architectural and site development plans submitted are consistent with [Chapter 7-11 TCC] and with the general policies and objectives of [Title 7 TCC], and shall give or withhold approval accordingly. Before making this determination, the Planning Commission shall receive the written recommendations of the City Engineer, the Accessibility Committee, and the Fire Chief. Such recommendation may be by letter, memorandum, or signature on the plans.

Section 7-11-8. Considerations in review of applications. The Planning Commission and the Engineering Department shall consider the following matters, among others, in their review of applications:

- (1) Considerations relating to traffic safety and traffic congestion:
 - (a) The effect of the site development plan on traffic conditions on abutting streets.
 - (b) The layout of the site with respect to locations and dimensions of vehicular and pedestrian entrances, exits, drives, and walkways.
 - (c) The arrangement and adequacy of off-street parking facilities to prevent traffic congestion.
 - (d) The location, arrangement, and dimensions of truck loading and unloading facilities.
 - (e) The circulation patterns within the boundaries of the development.
 - (f) The surfacing and lighting of off-street parking facilities.
- (2) Considerations relating to outdoor advertising:
 - (a) The number, location, color, size, height, lighting, and landscaping of outdoor advertising signs and structures in relation to the creation of traffic hazards and the appearance and harmony with neighboring development.
- (3) Considerations relating to landscaping:
 - (a) The location, height, and materials of walls, fences, hedges, and screen plantings to insure harmony with neighboring development, or to conceal storage areas, utility installations, or other unsightly development.

- (b) The planting of ground cover or other surfacing to prevent dust and erosion.
- (c) The unnecessary destruction of existing healthy trees.
- (4) Considerations relating to buildings and site layout:
 - (a) Consideration of the general silhouette and mass, including location on the site, elevations, and relation to natural plant coverage, all in relationship to neighboring development.
 - (b) Consideration of exterior design in relation to adjoining structures in height, bulk, and area openings, breaks in facade facing on streets, line and pitch of roofs, and the arrangement of structures on the parcel.
- (5) Considerations relating to drainage:
 - (a) The effect of the site development plan on the adequacy of the storm and surface water drainage, retention, and/or detention.

Section 7-11-9. Considerations. The Planning Commission, or the City Engineer, when authorized, shall decide all applications for design review. Design approval may include such conditions consistent with the considerations of [Chapter 7-11 TCC] as the Planning Commission or City Engineer deem reasonably necessary under the circumstances to carry out the intent of [Chapter 7-11 TCC]

REVIEWS

Planning Division Review. The Tooele City Planning Division has completed their review of the Site Plan Design Review submission and has issued a recommendation for approval for the request with the following proposed conditions:

1. The brick on the street facing facades of the four-unit buildings needs to be increased to a minimum of 40%.
2. The landscaping plan must be altered to reduce the area of irrigated sod where not used for active recreation purposes, and the mix of trees in the plan must be altered to meet the required ratio of 60/40 deciduous to coniferous varieties.

Engineering Review and Public Works Division Review. The Tooele City Engineering and Public Works Divisions have completed their reviews of the Site Plan Design Review submission and have issued a recommendation for approval of the request with the condition that the applicants meet requirements related to the storm-water detention basin on the project, and other engineering and public works comments.

Tooele City Fire Department Review. The Tooele City Fire Department has completed their review of the Site Plan Design Review submission and has issued a recommendation for approval for the request.

STAFF RECOMMENDATION

Staff recommends APPROVAL of the request for Site Plan and Design Review approval by Updwell Homes for the Lot 107 Townhomes of Lexington on property located at 620 W. Carole's Way, application number 2024-044, subject to the following conditions:

1. That all requirements of the Tooele City Engineering and Public Works Divisions shall be satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.

2. That all requirements of the Tooele City Building Division shall be satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
3. That all requirements of the Tooele City Fire Department shall be satisfied throughout the development of the site and the construction of all buildings on the site.
4. That the project will meet all requirements of the Design Standards, Tooele City Code 7-11a, specifically the use of brick on the street facing facades of the four-unit buildings will be increased to meet the minimum requirement of 40%.
5. That the landscaping plans will be adjusted to meet the required ratio of deciduous to coniferous varieties of trees and the use of sod will be limited to areas with recreational purposes.
6. That the storm water detention facilities will meet the requirements of the Tooele City Engineer and Public Works Department.

This recommendation is based on the following findings:

1. The proposed development plans meet the intent, goals, and objectives of the Tooele City General Plan.
2. The proposed development plans meet the requirements and provisions of the Tooele City Code.
3. With conditions the proposed development plans will not be deleterious to the health, safety, and general welfare of the general public nor the residents of adjacent properties.
4. The proposed development conforms to the general aesthetic and physical development of the area.
5. The public services in the area are adequate to support the subject development.

MODEL MOTIONS

Sample Motion for Approval – “I move we approve application #2024-044, request for Site Plan and Design Review approval by Updwell Homes for the Lot 107 Townhomes of Lexington, located at 620 W. Carole’s Way in the MR-16 zoning district based on the findings and subject to the conditions listed in the Staff Report dated September 20, 2024:”

1. List any additional findings and conditions...

Sample Motion for Denial – “I move we deny application #2024-044, request for Site Plan and Design Review approval by Updwell Homes for the Lot 107 Townhomes of Lexington, located at 620 W. Carole’s Way in the MR-16 zoning district based on the findings and subject to the conditions listed in the Staff Report dated September 20, 2024:”

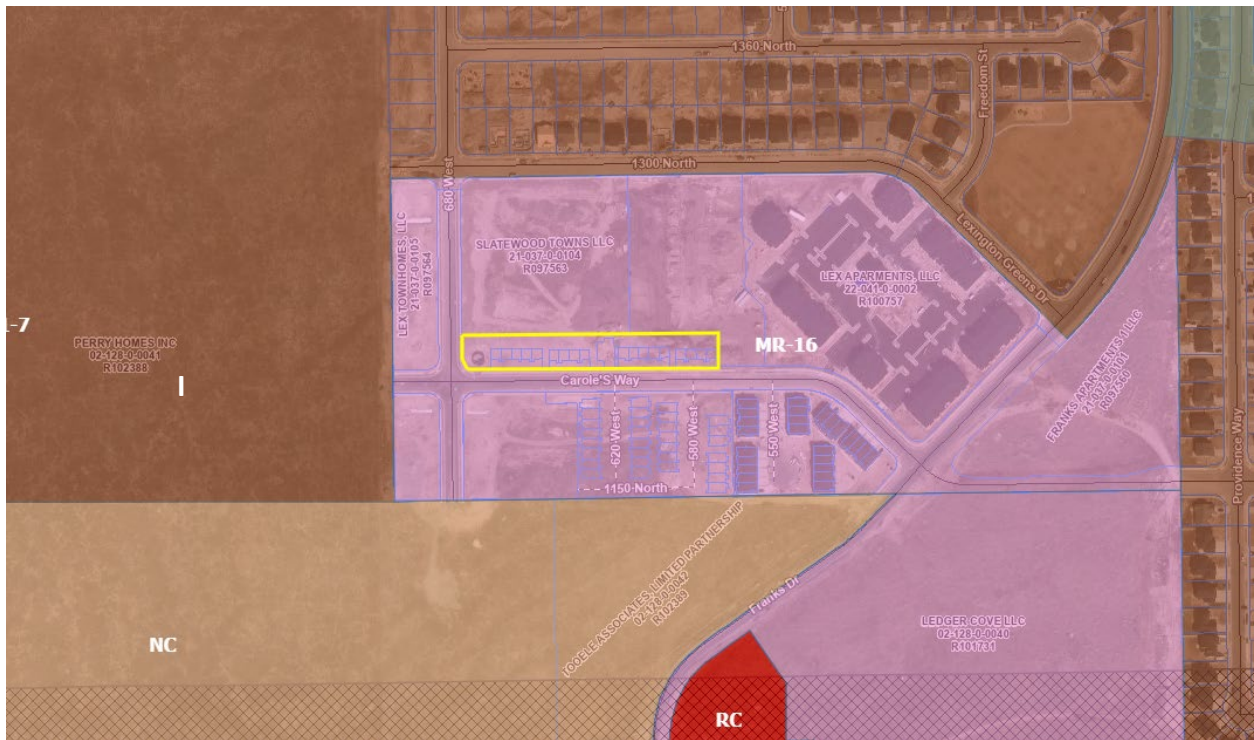
1. List findings...

EXHIBIT A

MAPPING PERTAINING TO THE REQUEST



1: Subject Property, aerial view



2: Subject Property, zoning

EXHIBIT B

APPLICANT SUBMITTED INFORMATION

Multi-Family Residential Site Plan Application

Community Development Department
 90 North Main Street, Tooele, UT 84074
 (435) 843-2132 Fax (435) 843-2139
www.tooelecity.gov



Notice: The applicant must submit copies of the plans to be reviewed by the City in accordance with the terms of the Tooele City Code. Once a Multi-Family Residential Site Plan application is submitted, the plans are subject to compliance reviews by the various city departments and may be returned to the applicant for revision if the plans are found to be inconsistent with the requirements of the City Code and all other applicable City ordinances. All submitted Multi-Family Residential Site Plan proposals shall be reviewed in accordance with the Tooele City Code. Submission of a Multi-Family Residential Site Plan application in no way guarantees placement of the application on any particular agenda of any City reviewing body. It is **strongly** advised that all plans be submitted well in advance of any anticipated deadlines.

| Project Information | | | | | | 2024044 | |
|---|--|-----------------------------------|---------------|--|--|-------------------------------|---------------|
| Date of Submission: 08/21/2024 | | Zone: | | Acres: 0.98 | | Parcel #(s): 22-053-0-00CA | |
| Project Name: Lexington Townhomes | | | | | | | |
| Project Address: 620 Caroles Way | | | | | | | |
| Project Description: Townhome/units of 4-plex & 5-plex | | | | | | Lots/Units: Lot #107 | |
| Property Owner(s): Zenith Development | | | | Applicant(s): Updwell Homes | | | |
| Address: 8371 S. State St. #207 | | | | Address: 890 Heritage Park Blvd. #104 | | | |
| City: Sandy | | State: UT | Zip: 84070 | City: Layton | | State: UT | Zip: 84041 |
| Phone: (801) 428-3755 | | Email: adam@zenithpartners.org | | Phone: (801) 784-9100 | | Email: gaby@updwell.com | |
| Contact Person: Gabriela Pirela | | | | Address: 890 Heritage Park Blvd. #104 | | | |
| Phone: (801) 784-9100 | | | | City: Layton | | State: UT | Zip: 84041 |
| Cellular: _____ | | Fax: _____ | | Email: gaby@updwell.com | | | |
| Engineer & Company: Ensign Engineering | | | | | | | |
| Address: 169 N. Main St. unit #1 | | | | | | | |
| City: Tooele | | State: UT | Zip: 84074 | | | | |
| Phone: (435) 843-3590 | | | | Email: cchild@ensignutah.com | | | |

*The application you are submitting will become a public record pursuant to the provisions of the Utah State Government Records Access and Management Act (GRAMA). You are asked to furnish the information on this form for the purpose of identification and to expedite the processing of your request. This information will be used only so far as necessary for completing the transaction. If you decide not to supply the requested information, you should be aware that your application may take a longer time or may be impossible to complete. If you are an "at-risk government employee" as defined in *Utah Code Ann.* § 63-2-302.5, please inform the city employee accepting this information. Tooele City does not currently share your private, controlled or protected information with any other person or government entity.

Note:

- A new application and checklist must accompany each submittal.
- Developer must submit plans in complete format to facilitate their review. Plans will be reviewed by the City staff, once they are found complete, they will be forwarded to Planning Commission for consideration. (as necessary)
- All fees must be paid at time of first submittal

| For Office Use Only | | | | 2240820 | |
|-----------------------|--|----------------------|--|---------------------------|--|
| Fee: 1500.00 (213) | | Received By: Jade | | Date Received: 8/22/24 | |
| | | | | Receipt #: 679820 | |

811
Know what's below.
Call before you dig.

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

BENCHMARK

EAST QUARTER CORNER OF SECTION 17,
TOWNSHIP 3 SOUTH, RANGE 4 WEST,
SALT LAKE BASE AND MERIDIAN
ELEV = 4735.78'

LINE TABLE

| LINE | BEARING | LENGTH |
|------|-------------|--------|
| L1 | N89°59'17"E | 6.75 |
| L2 | N89°59'17"E | 6.75 |
| L3 | N89°59'17"E | 6.75 |
| L4 | N89°59'17"E | 6.75 |
| L5 | N89°59'17"E | 6.75 |
| L6 | N89°59'17"E | 6.75 |
| L7 | N89°59'17"E | 6.75 |
| L8 | N89°59'17"E | 6.75 |
| L9 | N89°59'17"E | 6.75 |
| L10 | N89°59'17"E | 6.75 |
| L11 | N89°59'17"E | 6.75 |
| L12 | N89°59'17"E | 6.75 |
| L13 | N89°59'17"E | 6.75 |
| L14 | N89°59'17"E | 6.75 |
| L15 | N89°59'17"E | 6.75 |
| L16 | N89°59'17"E | 6.75 |
| L17 | S89°59'17"W | 5.98 |

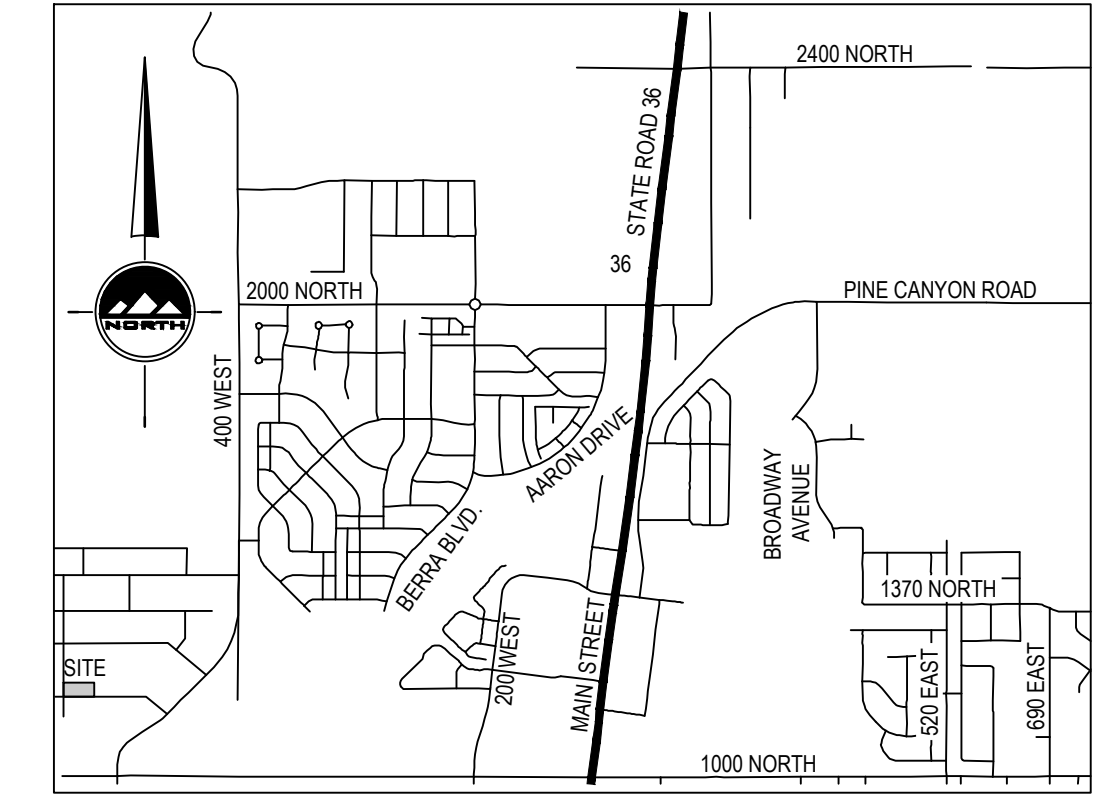
CURVE TABLE

| CURVE | RADIUS | LENGTH | DELTA | BEARING | CHORD |
|-------|--------|--------|-----------|-------------|--------|
| C2 | 5.00' | 7.85' | 90°00'00" | S44°59'17"W | 7.07' |
| C3 | 5.00' | 7.85' | 90°00'00" | S45°00'43"E | 7.07' |
| PC1 | 28.50' | 46.22' | 89°45'57" | S45°07'44"E | 41.63' |

SUBDIVISION ADDRESS

| UNIT # | ADDRESS |
|--------|----------|
| 1 | 680 WEST |
| 2 | 680 WEST |
| 3 | 680 WEST |
| 4 | 680 WEST |
| 5 | 680 WEST |
| 6 | 680 WEST |
| 7 | 680 WEST |
| 8 | 680 WEST |
| 9 | 680 WEST |
| 10 | 680 WEST |
| 11 | 680 WEST |
| 12 | 680 WEST |
| 13 | 680 WEST |
| 14 | 680 WEST |
| 15 | 680 WEST |
| 16 | 680 WEST |
| 17 | 680 WEST |
| 18 | 680 WEST |

FINAL PLAT
LOT 107 TOWNHOMES OF LEXINGTON
AT OVERLAKE SUBDIVISION
(AMENDING LOT 107 OF THE LEXINGTON AT OVERLAKE SUBDIVISION)
LOCATED IN THE SOUTHEAST CORNER OF SECTION 17, TOWNSHIP 3 SOUTH, RANGE 4 WEST,
SALT LAKE BASE AND MERIDIAN, TOOELE CITY, TOOELE COUNTY, UTAH



SURVEYOR'S CERTIFICATE

I, Douglas J Kinsman do hereby certify that I am a Professional Land Surveyor, and that I hold certificate No. 334575 in accordance with Title 58, Chapter 22, of the Professional Engineers and Land Surveyors Act. Further, I have completed a survey of the property described on this subdivision plat in accordance with Section 17-23-17, have verified all measurements and have subdivided said tract of land into units, parcels, and a private street, together with easements, hereafter to be known as **LEX TOWNHOMES SUBDIVISION**, and that the same has been correctly surveyed and monumented on the ground as shown on this plat. I further certify that all lots meet frontage width and area requirements of the applicable zoning ordinances.

BOUNDARY DESCRIPTION

A parcel of land, situate in the Southeast Quarter of Section 17, Township 3 South, Range 4 West, Salt Lake Base and Meridian, and in Tooele City, Tooele County, Utah, more particularly described as follows:

All of Lot 107 of "Lexington at Overlake Subdivision" as recorded in the Tooele County Recorder's office per entry number 520126, more particularly described as follows:

Beginning at a point on the North line of Carole's Way (1200 North), which is located South 89°42'43" West 1177.46 feet along the section line and North 1055.25 feet from the Southeast Corner of section 17, Township 3 South, Range 4 West, Salt Lake Base and Meridian, and running:

thence South 89°59'17" West 624.50 feet, along said North line of Carole's Way to a point of curvature

thence Northwesterly 46.22 feet along the arc of a 28.50 foot radius tangent curve to the right (center bears North 0°00'43" West, and the long chord bears North 45°07'44" West 41.63 feet through a central angle of 89°45'57", to the East line of 680 West;

thence North 0°14'46" West 55.56 feet, along said East line;

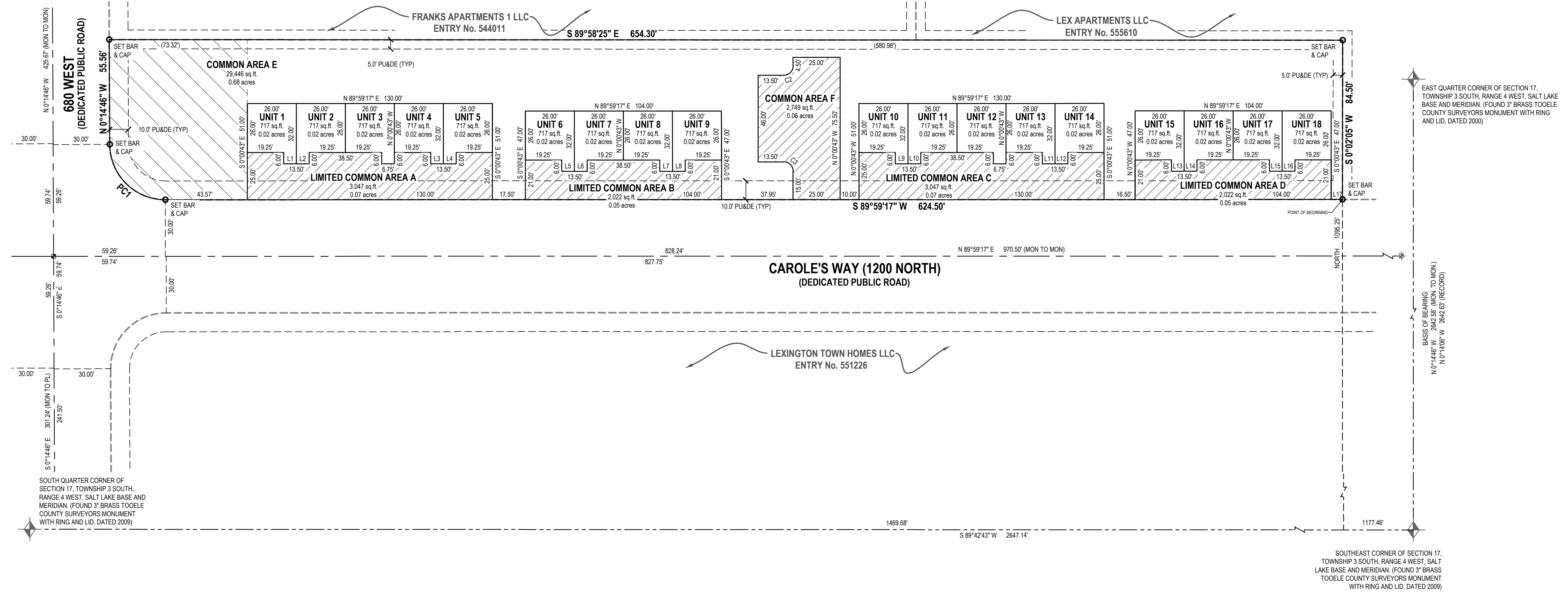
thence South 89°58'25" East 654.30 feet;

thence South 0°02'05" West 84.50 feet to North line of said Carole's Way also being the Point of Beginning.

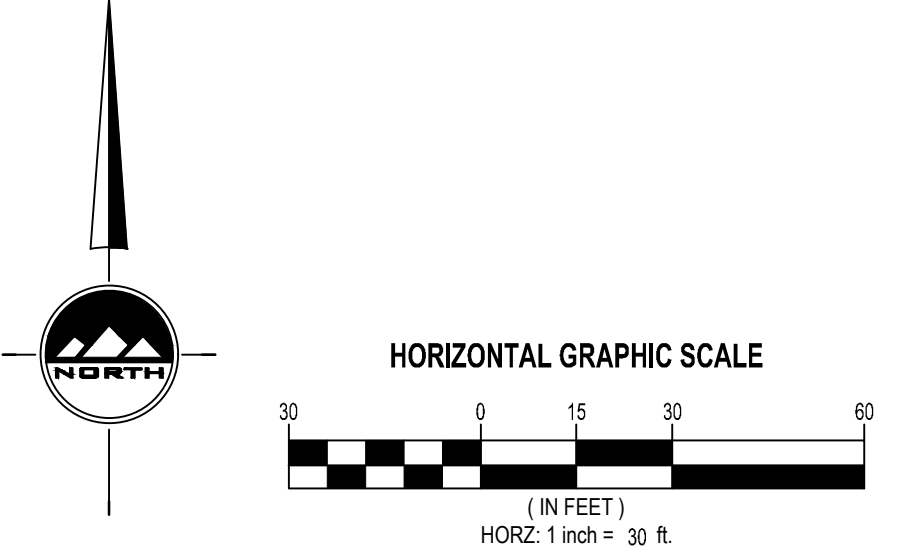
Parcel Contains 55,231 square feet or 1.27 acres, 18 units, 6 parcels.

Date July 6 2022

Douglas J Kinsman
License no. 334575



- NOTES**
- NO DRIVEWAYS SHALL BE CONSTRUCTED SO AS TO SLOPE TOWARD ANY STRUCTURES.
 - UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN, AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS, LIMITED COMMON AREAS AND COMMON AREAS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES AND VEGETATION THAT MAY BE PLACED WITHIN THE P.U.E. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE P.U.E. AT THE LOT OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE LOT OWNER'S EXPENSE. AT NO TIME MAY ANY PERMANENT STRUCTURES BE PLACED WITHIN THE P.U.E. OR ANY OTHER OBSTRUCTION WHICH INTERFERES WITH THE USE OF THE P.U.E. WITHOUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE P.U.E.
 - SET 1" X 24" REBAR WITH YELLOW PLASTIC CAP OR NAIL STAMPED "ENSGN ENG. & LAND SURV." AT ALL PROPERTY CORNERS.
 - ALL LIMITED COMMON AND COMMON AREAS ARE OWNED AND MAINTAINED BY THE LEXINGTON GREENS HOME OWNERS ASSOCIATION, INC.



LEGEND

| | | | |
|--|--|--|----------------------------|
| | EXISTING STREET MONUMENT | | ADJACENT PROPERTY LINE |
| | PROPOSED STREET MONUMENT TO BE SET | | SECTION LINE |
| | SECTION CORNER | | CENTER LINE |
| | 24" x 24" REBAR W/ YELLOW PLASTIC CAP "ENSGN ENG. & LAND SURV." TO BE PLACED AT ALL LOT & BOUNDARY CORNERS | | EASEMENT LINE |
| | P.U.E. PUBLIC UTILITY & DRAINAGE EASEMENT | | RIGHT OF WAY LINE |
| | BOUNDARY LINE | | ADJACENT RIGHT OF WAY LINE |
| | LIMITED COMMON AREA | | TANGENT LINE |
| | LEXINGTON GREENS HOME OWNERS ASSOCIATION INC. STORM WATER RETENTION EASEMENT | | |

DEVELOPER
LEX TOWNHOMES, LLC
8371 SOUTH STATE SUITE #202
SANDY, UTAH 84070
801-428-3755

ROCKY MOUNTAIN POWER COMPANY

1. PURSUANT TO UTAH CODE ANN. § 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.

2. PURSUANT TO UTAH CODE ANN. § 17-27A-603(4)(C)(II) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE P.U.E. AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:

(1) A RECORDED EASEMENT OR RIGHT-OF-WAY

(2) THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS

(3) TITLE 54, CHAPTER 8A, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR

(4) ANY OTHER PROVISION OF LAW.

APPROVED THIS _____ DAY OF _____, 20____

ROCKY MOUNTAIN POWER
BY _____
TITLE _____

DOMINION ENERGY

DOMINION ENERGY APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY'S RIGHT-OF-WAY DEPARTMENT AT 1-800-366-8532.

APPROVED THIS _____ DAY OF _____, 20____ BY _____

DOMINION ENERGY
TITLE _____

COMMUNITY DEVELOPMENT APPROVAL

APPROVED AS TO FORM ON THIS _____ DAY OF _____, 20____
A.D. 20____

TOOELE CITY COMMUNITY DEVELOPMENT

COUNTY SURVEY DEPARTMENT APPROVAL

APPROVED THIS _____ DAY OF _____, 20____
BY THE TOOELE COUNTY SURVEY DEPARTMENT.
RECORD OF SURVEY FILE # 2018-0074, 2020-0066-01

TOOELE COUNTY SURVEY DIRECTOR

CITY ENGINEER

APPROVED AS TO FORM THIS _____ DAY OF _____, 20____

TOOELE CITY ENGINEER

COUNTY TREASURER APPROVAL

APPROVED AS TO FORM THIS _____ DAY OF _____, 20____
BY THE TOOELE COUNTY TREASURER.

TOOELE COUNTY TREASURER

CITY ATTORNEY

APPROVED AS TO FORM THIS _____ DAY OF _____, 20____

TOOELE CITY ATTORNEY

CITY COUNCIL APPROVAL

APPROVED THIS _____ DAY OF _____, 20____
BY THE TOOELE CITY COUNCIL.

CHAIRMAN TOOELE CITY COUNCIL

PLANNING COMMISSION

APPROVED THIS _____ DAY OF _____, 20____
BY THE TOOELE CITY PLANNING COMMISSION

CHAIRMAN TOOELE CITY PLANNING COMMISSION

COUNTY HEALTH DEPARTMENT

APPROVED THIS _____ DAY OF _____, 20____
BY THE TOOELE COUNTY HEALTH DEPARTMENT.

TOOELE COUNTY HEALTH DEPARTMENT

TOOELE COUNTY RECORDER

RECORDED # _____
STATE OF UTAH, COUNTY OF TOOELE, RECORDED AND FILED AT THE
REQUEST OF: _____
DATE: _____ TIME: _____
FEES _____
TOOELE COUNTY RECORDER

FINAL PLAT
LOT 107 TOWNHOMES OF
LEXINGTON AT OVERLAKE
SUBDIVISION
(AMENDING LOT 107 OF THE LEXINGTON AT OVERLAKE SUBDIVISION)
LOCATED IN THE SOUTHEAST CORNER OF SECTION 17, TOWNSHIP 3
SOUTH, RANGE 4 WEST, SALT LAKE BASE AND MERIDIAN, TOOELE
CITY, TOOELE COUNTY, UTAH

ENSIGN
SALT LAKE CITY
Phone: 801.255.0229
LAYTON
Phone: 801.541.1100
CEDAR CITY
Phone: 435.861.1643
RICHFIELD
Phone: 435.896.2883
WWW.ENSGNENG.COM

SHEET 1 OF 1

PROJECT NUMBER : 82600
MANAGER : C. CHILD
DRAWN BY : H. CARTER
CHECKED BY : D. KINSMAN
DATE : 7/6/22

811
Know what's below.
Call before you dig.

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

BENCHMARK

EAST QUARTER CORNER OF SECTION 17,
TOWNSHIP 3 SOUTH, RANGE 4 WEST
SALT LAKE BASE AND MERIDIAN.
ELEV = 4735.78'

GENERAL NOTES

1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
2. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
3. SEE LANDSCAPE/ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH, AND SCORE PATTERNS THROUGHOUT SITE.
4. ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
5. ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
6. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
7. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- ① 4' WIDE 4" THICK CONCRETE WALKWAY PER APWA STANDARD PLAN NO. 231.
- ② LIFETIME ADVENTURE CASTLE PLAYSET. SEE DETAIL SHEETS. INSTALL PER MANUFACTURER'S MANUFACTURER STANDARDS AND SPECIFICATIONS.
- ③ DRIVEWAY APPROACH PER APWA STANDARD PLAN NO. 221.1.
- ④ FENCE WITH CONCRETE MOW CURB. INSTALL PER MANUFACTURER STANDARDS AND SPECIFICATIONS. FENCE STYLE PER TOOELE CITY STANDARDS AND SPECIFICATIONS FENCING REQUIREMENTS. SEE DETAIL 9/C-500.
- ⑤ E-SERIES PARK BENCH WITHOUT BACK. SEE DETAIL SHEETS. INSTALL PER MANUFACTURER'S MANUFACTURER STANDARDS AND SPECIFICATIONS.
- ⑥ SITE LIGHTING PER TOOELE CITY RESIDENTIAL STANDARDS. SEE ARCHITECT PLANS FOR DESIGN DETAILS.
- ⑦ EXISTING STORM DRAIN SYSTEM, CONTRACTOR TO FIELD VERIFY SIZE, SLOPE, AND DEPTH OF STORM DRAIN SYSTEM.
- ⑧ RETAINING WALL PER DETAIL 5/C-500. SEE GRADING PLAN FOR ELEVATION INFORMATION.
- ⑨ 4" THICK 15' x 10' CONCRETE PATIO



TOOELE
169 N. Main Street, Unit 1
Tooele, UT. 84074
Phone: 435.843.3590

SALT LAKE CITY
Phone: 801.255.0529

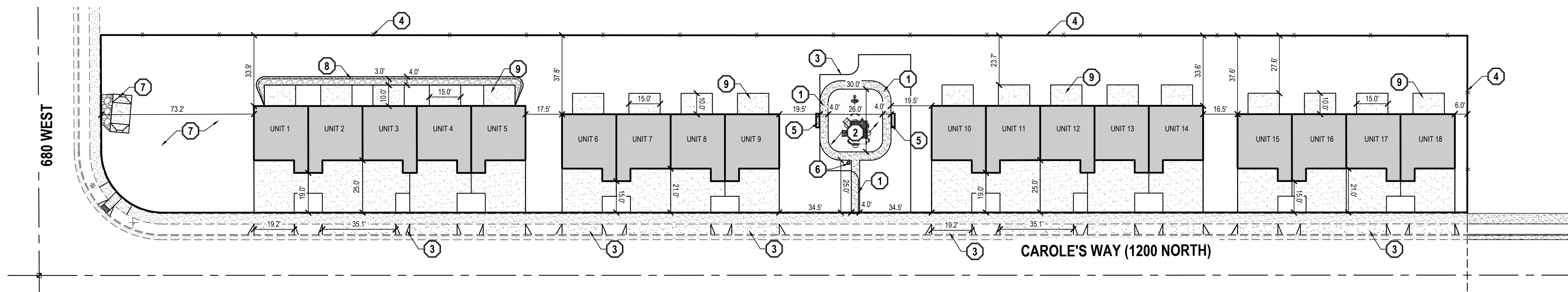
LAYTON
Phone: 801.547.1100

CEDAR CITY
Phone: 435.866.1453

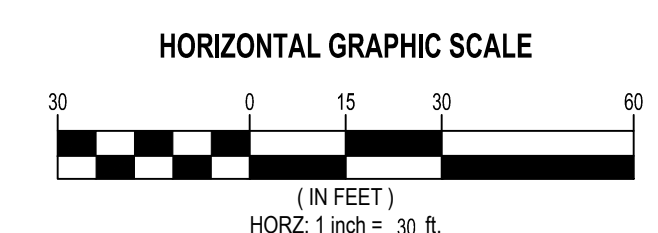
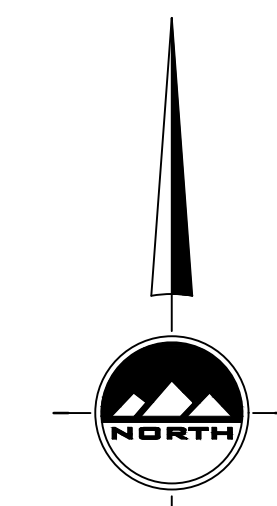
RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
UPDEWELL HOMES, LLC
890 HERITAGE PARK BLVD STE 104
LAYTON, UTAH 84041
CONTACT:
JAYSON HASKELL
PHONE: 801-784-9100



**LOT 107 TOWNHOMES OF LEXINGTON
AT OVERLAKE SUBDIVISION
641 WEST CAROLE'S WAY
TOOELE, UTAH 84074**



SITE PLAN

PROJECT NUMBER: 82600
PRINT DATE: 2024-08-16
DRAWN BY: C. CHILD
CHECKED BY: C. CHILD
PROJECT MANAGER: C. CHILD

C-100

LEX TOWNHOMES 5PLEX

PLANS
CONSTRUCTION DOCUMENTATION
BUILDING INFORMATION MODELING



| NO | REVISIONS DESCRIPTION | DATE | BY |
|----|-----------------------|------|----|
| | | | |
| | | | |
| | | | |
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| | | | |

HARRIS HOME DESIGN
Phone: (435) 230-0006, Rick Harris
email: harris@homedesign1.com

FINISH AREAS: (NOT INCLUDING OPENINGS)

| FRONT: | LEFT: (STREET SIDE ONLY) | BACK: | RIGHT: | TOTAL: |
|-----------------------|--------------------------|----------------------|----------------------|-----------------------|
| TOTAL s.f. 2944 s.f. | TOTAL s.f. 844 s.f. | TOTAL s.f. 3052 s.f. | TOTAL s.f. 896 s.f. | TOTAL s.f. 7788 s.f. |
| TOTAL BRICK 1200 s.f. | TOTAL BRICK 338 s.f. | TOTAL BRICK 988 s.f. | TOTAL BRICK 230 s.f. | TOTAL BRICK 1538 s.f. |
| PERCENT 41% | PERCENT 40% | PERCENT 32% | PERCENT 26% | PERCENT 20% |

GENERAL NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH IRC 2015 BUILDING STANDARDS AND LOCAL CODES.
- FOUNDATION AND TRUSS DESIGN SHALL BE VERIFIED BY A QUALIFIED ENGINEER FOR COMPLIANCE WITH SITE REQUIREMENTS.
- DIMENSIONS AND NOTES SHALL TAKE PRECEDENCE OVER THE SCALING OF DRAWINGS.
- WALL DIMENSIONS ARE TO THE EXTERIOR OF FRAMING UNLESS NOTED OTHERWISE.
- LUMBER COMING IN CONTACT WITH CONCRETE OR MASONRY SHALL BE TREATED TO A MINIMUM OF 40 CCA. ALL LUMBER IN CONTINUOUS CONTACT WITH THE GROUND SHALL BE TREATED TO A MINIMUM OF .60 CCA.
- ALL FRAMING LUMBER TO BE #2 DF OR EQUIVALENT, UNLESS NOTED OTHERWISE.
- EXTERIOR AND INTERIOR MATERIALS AND FINISHES TO BE DETERMINED BY OWNER.

BUILDING PERFORMANCE

- HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS.
- PORCHES AND GARAGE AREAS NOT INCLUDED IN LIVING AREA.
- ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR.
- ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.
- ALL COMBUSTION APPLIANCES WILL BE VENTED DIRECTLY TO THE EXTERIOR.
- FURNACE FIREBOX SHALL HAVE OUTSIDE COMBUSTION AIR SUPPLY PURSUANT TO REGIONAL AND LOCAL CODES.
- MINIMUM INSULATION REQUIREMENTS: EXTERIOR WALLS R-19, GARAGE WALLS R-13, CEILINGS R-38

EXTERIOR FINISH NOTES

- EXTERIOR FINISH TO BE FACED BRICK, STUCCO & PAINTED HARDIE SIDING OVER 7/16" PLYWOOD(OSB), MATERIAL AND COLOR BY OWNER.
- ROOFING TO BE 30 YR ARCH'L ASPHALT SHINGLES OVER #30 FELT OR EQUAL, 7/16" PLYWOOD(OSB).
- DOWNSPOUTS TO BE COLLECTED AND ROOF RUN OFF TO BE DIRECTED AWAY FROM STRUCTURE.
- FINISH GRADE SHALL SLOPE AWAY FROM STRUCTURE MIN. 2% FOR 10' MIN.

VENTILATION

- ATTIC SHALL HAVE VENTILATION EQUAL TO 1 SQ. FOOT PER 150 SQ. FEET OF ATTIC SPACE. VENTILATION SHALL BE PROTECTED FROM SNOW AND RAIN AND SHALL BE COVERED WITH GALVANIZED WIRE SCREEN. OPENINGS SHALL BE LOCATED TO PROVIDE CROSS VENTILATION.
- GARAGES SHALL BE VENTED WITH 60 SQ. INCHES LOCATED 6" ABOVE THE FLOOR SURFACE.
- UNDER FLOOR SPACES SHALL HAVE VENTILATION EQUAL TO ONE SQ. FOOT PER 150 SQ. FEET OF FLOOR SPACE. VENTS SHALL BE CAST IN TO THE CONCRETE STEM WALLS AND COVERED WITH GALVANIZED WIRE SCREEN. VENTS SHALL BE LOCATED TO PROVIDE CROSS VENTILATION.

ATTIC ACCESS SHALL BE:

- A MINIMUM OF 22"x36". THERE SHALL BE 30" MIN. CLEARANCE AT OR ABOVE THE OPENING.
- LOCATED IN A CORRIDOR, HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. ATTICS WITH A MAXIMUM VERTICAL HEIGHT OF LESS THAN 30" WILL NOT REQUIRE ACCESS OPENINGS.

DOORS

- DOORS BETWEEN GARAGE AND LIVING AREA SHALL BE 1-3/4" TIGHT FITTING SOLID CORE DOORS. DOOR SHALL SELF CLOSING.
- EXTERIOR EXIT DOORS WILL BE 36" MIN. NET CLEAR DOOR WAY SHALL BE 32" MIN. DOOR SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. GLAZING IN DOORS SHALL BE DUAL PANE SAFETY GLASS WITH MIN. U-VALUE OF 0.60. PERIMETER OF DOOR SHALL BE WEATHER STRIPPED.
- GARAGE DOORS TO BE SECTIONAL, OVERHEAD DOORS, MATERIALS AND FINISH TO BE DETERMINED BY OWNER.

WINDOWS AND GLAZING

- WINDOWS SHALL BE DUAL PANE (MIN. U-VALUE OF 0.6), MANUFACTURER AND COLOR TO BE DETERMINED BY OWNER.
- EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW WITH FINISH SILL HEIGHT NOT GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT AND SHALL HAVE A MINIMUM OPENABLE AREA OF 5.7 SQ. FT. EGRESS WINDOWS SHALL NOT HAVE AN OPENABLE AREA LESS THAN 20" WIDE OR 24" HIGH.
- SAFETY GLAZING SHALL BE PROVIDED WHERE GLASS IS TO BE USED IN DOORS, WITHIN A 24" ARC OF DOORS AND WHERE THE BOTTOM EDGE IS WITHIN 18" ABOVE THE FLOOR.
- SAFETY GLAZING SHALL BE PROVIDED IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPools, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS.
- ALL EXTERIOR DOORS AND WINDOWS SHALL BE FINISHED WITH WEATHER RESISTANT COATINGS AND WEATHERSTRIPPED.

Sheet Index

| Sheet # | Sheet Name |
|---------|-------------------------------------|
| A0 | COVER SHEET |
| A1 | BUILDING AREAS |
| A2 | MAIN LEVEL FLOOR PLAN |
| A3 | 2ND LEVEL FLOOR PLAN |
| A4 | 3RD LEVEL FLOOR PLAN |
| A5 | FRONT & REAR ELEVATIONS |
| A6 | RIGHT & LEFT ELEVATIONS |
| A7 | STAIR SECTION, DOOR/WINDOW SCHEDULE |
| A8 | BUILDING SECTIONS |
| A9 | FIRE SEPARATION DETAIL |
| A10 | ROOF PLAN |
| E1 | MAIN LEVEL ELECTRICAL PLAN |
| E2 | 2ND & 3RD LEVEL ELECTRICAL PLANS |

BUILDING AREAS:

| BUILDING TOTALS | |
|-------------------------------------|-----------|
| GARAGES: | 2833 s.f. |
| FOYERS & STORAGE AREAS: | 635 s.f. |
| 2ND LEVEL: | 3869 s.f. |
| 3RD LEVEL: | 4196 s.f. |
| 2ND LEVEL DECKS: | 264 s.f. |
| TOTAL (excluding garages) FINISHED: | 8700 s.f. |
| PER UNIT | |
| MAIN LEVEL UNITS 1&5: | 569 s.f. |
| MAIN LEVEL UNITS 2-4, GARAGE: | 565 s.f. |
| MAIN LEVEL, FOYER & STORAGE: | 127 s.f. |
| 2ND LEVEL UNITS 1&5: | |
| 2ND LEVEL UNITS 2-4: | 775 s.f. |
| 2ND LEVEL DECK: | 66 s.f. |
| 3RD LEVEL UNITS 1&5: | |
| 3RD LEVEL UNITS 2-4: | 844 s.f. |
| 3RD LEVEL DECK: | 836 s.f. |

OWNER & BUIDER NOTES

THESE PLANS SHALL NOT BE USED FOR CONSTRUCTION UNTIL APPROVED BY THE LOCAL BUILDING DEPARTMENT. THE BUILDER IS EXPECTED TO FOLLOW THESE PLANS, APPLICABLE BUILDING CODES AND LOCAL ORDINANCES. HE SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WHILE THESE PLANS ARE DRAWN TO SHOW THE PROPOSED WORK AS ACCURATELY AS POSSIBLE, SCHEMATIC DETAILS MAY BE USED IN SOME CASES FOR CLARITY. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES.

THE ENGINEER/DESIGNER ASSUMES NO RESPONSIBILITY FOR SCHEDULING, FABRICATION, CONSTRUCTION TECHNIQUES OR MATERIALS, OR QUANTITIES USED IN THE WORK. THE ENGINEER/DESIGNER ASSUMES NO RESPONSIBILITY FOR FIELD CHANGES, SITE VARIANCES OR DISCREPANCIES NOT BROUGHT TO HIS/HER ATTENTION FOR CLARIFICATION.

PROPERTY OF ZENITH DEVELOPMENT

COVER SHEET
LEX TOWNHOMES, 5PLEX
TODDLE, UTAH

DATE: 8/13/24
SCALE: 1/4" = 1'-0"

JOB NO.
290

SHEET NO.
A0

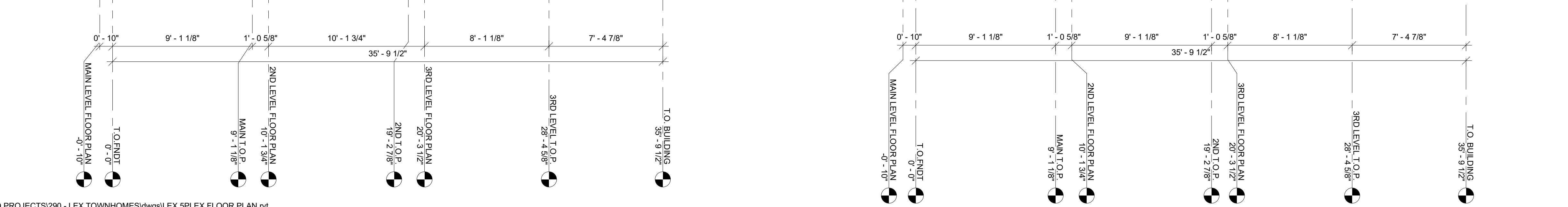
D:\projects\290-1140 COMPLETED PROJECTS\290-1140 LEX TOWNHOMES\img\LEX 5PLEX FLOOR PLAN.rvt

PROPERTY OF ZENITH DEVELOPMENT



2 REAR ELEVATION
1/4" = 1'-0"

1 FRONT ELEVATION
1/4" = 1'-0"



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FRONT & REAR ELEVATIONS
LEX TOWNHOMES, 5PLEX

TOOELE, UTAH

DATE: 8/13/24
SCALE: 1/4" = 1'-0"

JOB NO: 290

SHEET NO: A5

HARRIS HOME DESIGN

Phone: (435) 230-0066, Rick Harris
email: harris.homedesign1@gmail.com

| REVISIONS | | |
|-----------|-------------|------|
| NO | DESCRIPTION | DATE |
| | | |
| | | |
| | | |
| | | |

OWNER & BUIDER NOTES

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LEX TOWNHOMES 4PLEX

PLANS
CONSTRUCTION DOCUMENTATION
BUILDING INFORMATION MODELING

| NO | DESCRIPTION | DATE | BY |
|----|---|----------|-----|
| 1 | ADD BRICK | 8-24-22 | RWH |
| 2 | ADJUST FOOTPRINT ON ALL LEVELS, SOME DOORS/WINDOWS ADJUSTED | 10-31-22 | RWH |

HARRIS HOME DESIGN

Phone: (435) 730-0006, Rick Harris
email: harris@homedesign1@gmail.com

GENERAL NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH IRC 2015 BUILDING STANDARDS AND LOCAL CODES.
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- GARAGE DOORS TO BE SECTIONAL, OVERHEAD DOORS, MATERIALS AND FINISH TO BE DETERMINED BY OWNER.

WINDOWS AND GLAZING

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- SAFETY GLAZING SHALL BE PROVIDED WHERE GLASS IS TO BE USED IN DOORS, WITHIN A 24" ARC OF DOORS AND WHERE THE BOTTOM EDGE IS WITHIN 18" ABOVE THE FLOOR.
- SAFETY GLAZING SHALL BE PROVIDED IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS.
- ALL EXTERIOR DOORS AND WINDOWS SHALL BE FINISHED WITH WEATHER RESISTANT COATINGS AND WEATHERSTRIPPED.



FINISH AREAS: (NOT INCLUDING OPENINGS)

| FRONT: | LEFT: | BACK: | RIGHT: | TOTAL: |
|----------------------|----------------------|----------------------|----------------------|----------------------|
| TOTAL s.f. 2333 s.f. | TOTAL s.f. 896 s.f. | TOTAL s.f. 2422 s.f. | TOTAL s.f. 896 s.f. | TOTAL s.f. 6547 s.f. |
| TOTAL BRICK 664 s.f. | TOTAL BRICK 524 s.f. | TOTAL BRICK 968 s.f. | TOTAL BRICK 524 s.f. | TOTAL BRICK 864 s.f. |
| PERCENT 37% | PERCENT 58% | PERCENT 40% | PERCENT 58% | PERCENT 13% |

Minimum requirement is 40% brick or cultured stone on the street facing elevation.

Sheet Index

| Sheet # | Sheet Name |
|---------|-------------------------------------|
| A0 | COVER SHEET |
| A1 | BUILDING AREAS |
| A2 | MAIN LEVEL FLOOR PLAN |
| A3 | 2ND LEVEL FLOOR PLAN |
| A4 | 3RD LEVEL FLOOR PLAN |
| A5 | FRONT & REAR ELEVATIONS |
| A6 | RIGHT & LEFT ELEVATIONS |
| A7 | STAIR SECTION, DOOR/WINDOW SCHEDULE |
| A8 | LEFT TO RIGHT BUILDING SECTION |
| A9 | FRONT TO BACK BUILDING SECTION |
| A10 | FIRE SEPARATION DETAIL |
| A11 | ROOF PLAN |
| E1 | ELECTRICAL NOTES |
| E2 | MAIN LEVEL ELECTRICAL PLAN |
| E3 | 2ND LEVEL ELECTRICAL PLAN |
| E4 | 3RD LEVEL ELECTRICAL PLAN |

BUILDING AREAS:

| BUILDING TOTALS | |
|-------------------------------------|-----------|
| GARAGES: | 2256 s.f. |
| FOYERS & STORAGE AREAS: | 516 s.f. |
| 2ND LEVEL: | 3104 s.f. |
| 3RD LEVEL: | 3358 s.f. |
| 2ND LEVEL DECKS: | 264 s.f. |
| TOTAL (excluding garages) FINISHED: | 6978 s.f. |
| PER UNIT | |
| MAIN LEVEL UNITS, GARAGE: | 564 s.f. |
| MAIN LEVEL, FOYER & MECH.: | 129 s.f. |
| 2ND LEVEL UNITS: | 776 s.f. |
| 2ND LEVEL DECK: | 66 s.f. |
| 3RD LEVEL UNITS 1&4: | 844 s.f. |
| 3RD LEVEL UNITS 2&3: | 835 s.f. |
| TOTAL FINISH PER UNITS 1&4: | 1749 s.f. |
| TOTAL FINISH PER UNITS 2&3: | 1740 s.f. |

PROPERTY OF ZENITH DEVELOPMENT



1 FRONT ELEVATION
1/4" = 1'-0"



2 REAR ELEVATION
1/4" = 1'-0"

| REVISIONS | |
|-----------|---|
| NO | DESCRIPTION |
| 1 | ADD BRICK |
| 2 | ADJUST FOOTPRINT ON ALL LEVELS. SOME DOORS/WINDOWS ADJUSTED |

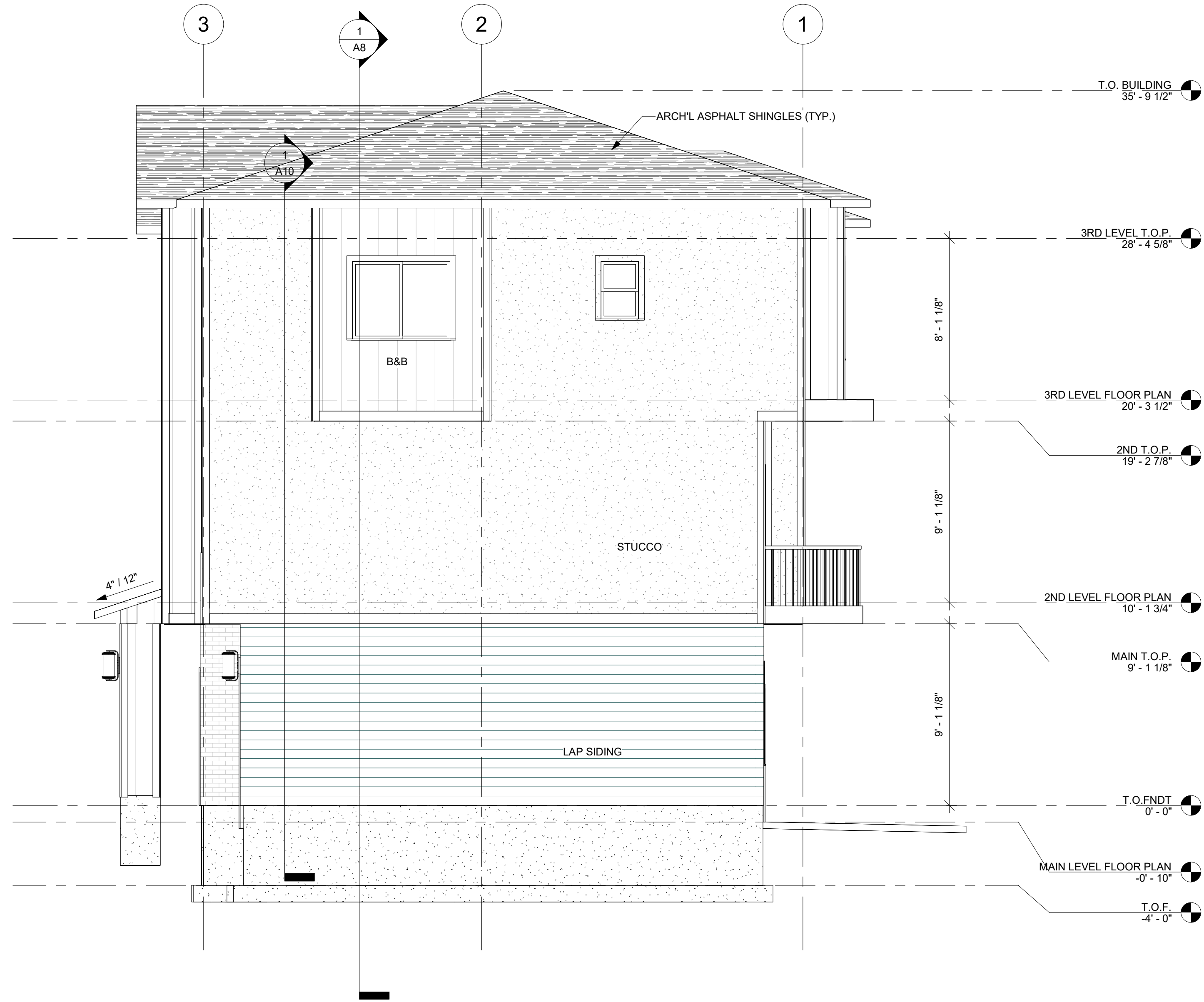
HARRIS HOME DESIGN
 Phone: (435) 230-0006, Rick Harris
 email: harrishome@design1@gmail.com

FRONT & REAR ELEVATIONS
LEX TOWNHOMES, 4PLEX
 TOOELE, UTAH

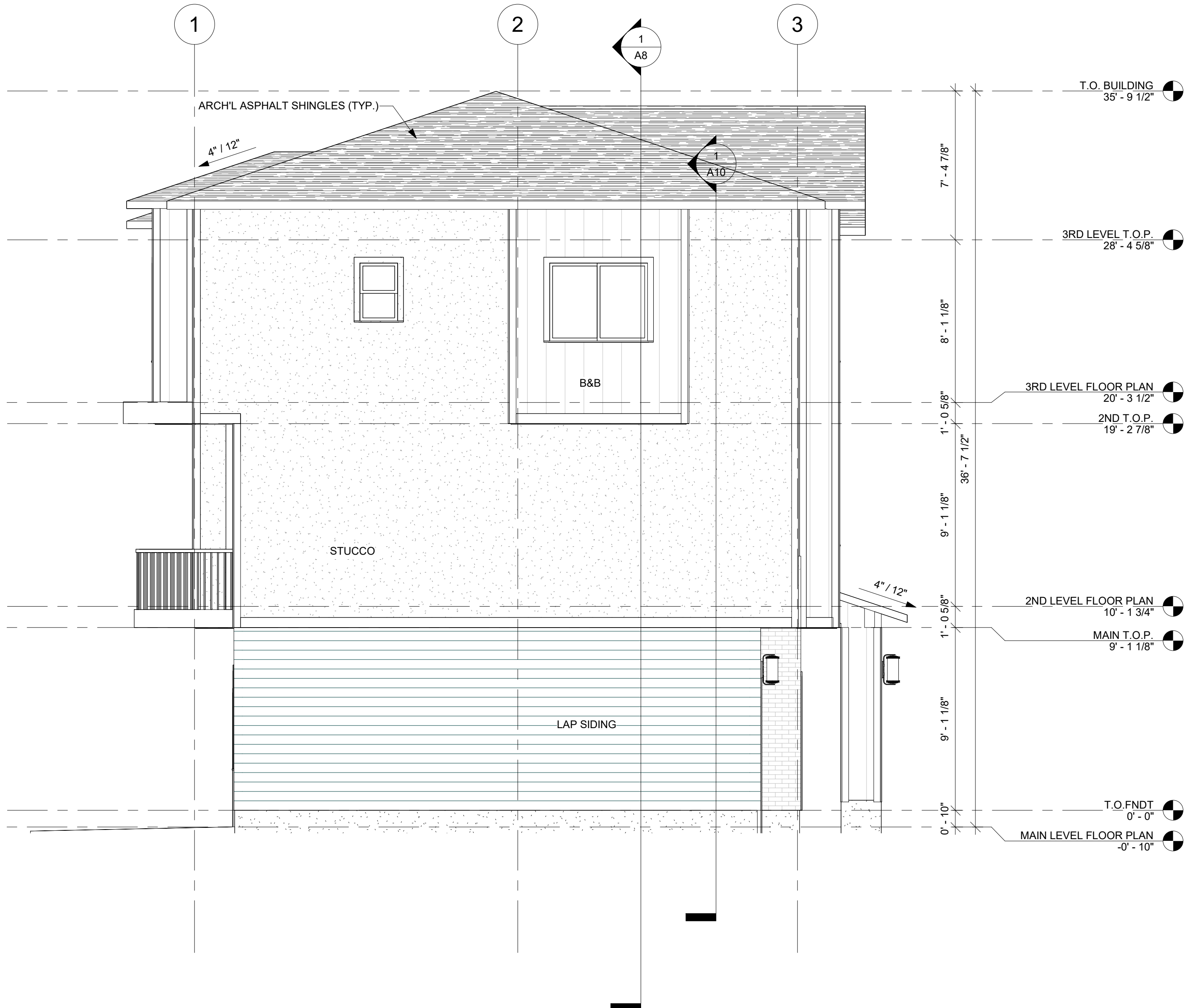
DATE: 8/18/24
 SCALE: 1/4" = 1'-0"
 JOB NO. 290

SHEET NO.
A5

PROPERTY OF ZENITH DEVELOPMENT



1 RIGHT ELEVATION
1/4" = 1'-0"



2 LEFT ELEVATION
1/4" = 1'-0"

| NO | REVISIONS | DESCRIPTION | BY | DATE |
|----|-----------|---------------------------------|-----|----------|
| 1 | | | RWH | 5-24-22 |
| 2 | | ADD BRICK | RWH | 10-31-22 |
| | | ADJUST FOOTPRINT ON ALL LEVELS. | RWH | |
| | | SOME DOORS/WINDOWS ADJUSTED | RWH | |

HARRIS HOME DESIGN

Phone: (435) 230-0006, Rick Harris
email: harris@homedesign1@gmail.com

RIGHT & LEFT ELEVATIONS
LEX TOWNHOMES, 4PLEX

TOWNE, UTAH

DATE: 8/18/24
SCALE: 1/4" = 1'-0"

JOB NO.
290

SHEET NO.

A6

PROPERTY OF ZENITH DEVELOPMENT

811
Know what's below.
Call before you dig.

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

BENCHMARK

EAST QUARTER CORNER OF SECTION 17,
TOWNSHIP 3 SOUTH, RANGE 4 WEST
SALT LAKE BASE AND MERIDIAN.
ELEV = 4735.78'

- SCOPE OF WORK:**
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- 1 DROUGHT TOLERANT SOD AREA (BUFFALO, WHEATGRASS, GRAMMAGRASS, OR TURTLE TURF) W/ RAINBIRD SPRAYED HEADS AND MAXIS. SEE LANDSCAPE DETAIL SHEET L-200.
 - 2 INSTALL TREES W/ ROOT WATERING SYSTEM.
 - 3 INSTALL 4" DEEP LANDSCAPING BARK 2'-3" DIA. NEPHI ROCK AND GRAVEL COLOR SOUTHWAY OR EQUIV. DECORATIVE ROCK OVER WEED BARRIER, TYP.
 - 4 INSTALL 4" METAL EDGING.
 - 5 INSTALL 1 1/2" SCHEDULE 40 PVC.
 - 6 INSTALL IRRIGATION DRIP TUBE.
 - 7 INSTALL BACKFLOW PREVENTION DEVICE PER TOOELE CITY STANDARDS AND SPECIFICATIONS. SEE DETAIL 11L-200.
 - 8 12" MASONRY SAND ON OVER WEED BARRIER, TYP.

NOTE: SOME KEY NOTES MAY NOT BE USED

Trees should represent a 60/40 ratio of deciduous to evergreen varieties. Please adjust the plans to reflect the ratio. JHALL

Landscape

| Qty | Symbol | Common Name |
|-----------|--------|------------------|
| 14 | | LACEBARK ELM |
| 16 | | PURPLEBLOW MAPLE |
| 11 | | AUSTRIAN PINE |
| Total: 41 | | |

Shrubs Under 4 Feet

| Qty | Symbol | Common Name | Plant Size |
|------------|--------|-----------------|------------|
| 55 | | Cinquefoil | 5 Gallon |
| 24 | | Currant, Alpine | 1 Gallon |
| 133 | | Blue Oat Grass | 1 Gallon |
| Total: 232 | | | |

AREAS

| SQFT | Symbol | Common Name |
|--------|--------|-----------------|
| 19,663 | | BUFFALO GRASS |
| 11,216 | | GROUND COVER |
| 749 | | PLAYGROUND AREA |

Irrigation

| Qty | Symbol | Description |
|-----|--------|--|
| 1 | | Wilkins Model 375, FEBCO LF860 |
| - | | Rain Bird 100-PGA Globe |
| - | | Rain Bird XCZ-100 COM |
| 1 | | Irritrol Total Control R Series |
| 1 | | Rain Bird RSD-BEX |
| | | Pipe Sleeve 2x Diameter |
| | | Mainline: 1 1/4" Schedule 40 PVC |
| | | Xt-700 XERIGATION DRIP TUBE (2) XB-10 EMITTER PER SHRUB (4) XB-10 EMITTER PER TREE |

** NOTES **
THIS PLAN WAS DRAWN FOR GRAPHIC CLARITY ONLY. PLEASE PLACE ALL MAINLINE AND LATERAL LINES IN ADJACENT LANDSCAPE AREAS. SOME FIELD MODIFICATIONS MAY BE NEEDED TO AVOID ON SITE OBSTRUCTIONS.

WATER USAGE CALCULATIONS

LANDSCAPE USAGE: AREA X WATER USAGE PER ACRE

SOD AREA @ 2 AFI/ACRE
DRIP AREA @ 2 AFI/ACRE

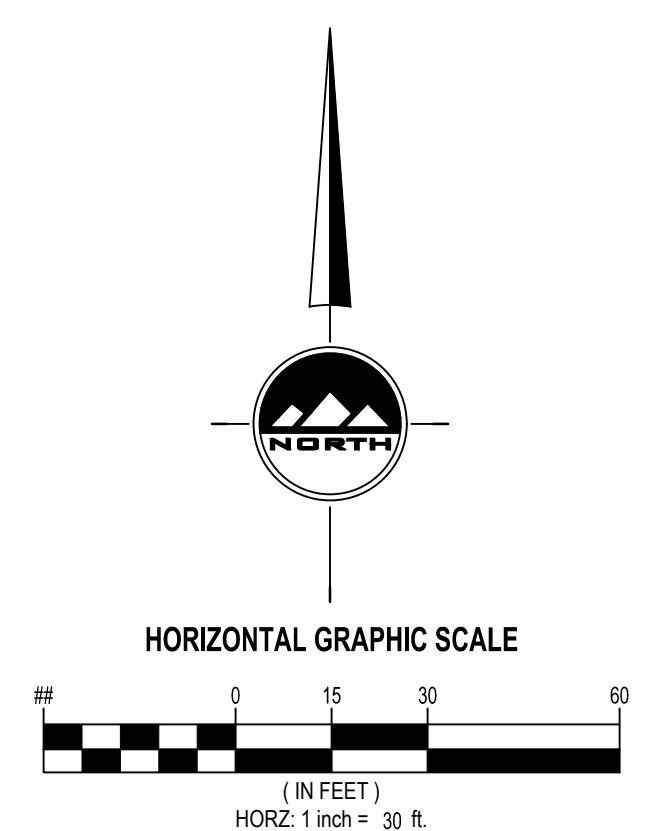
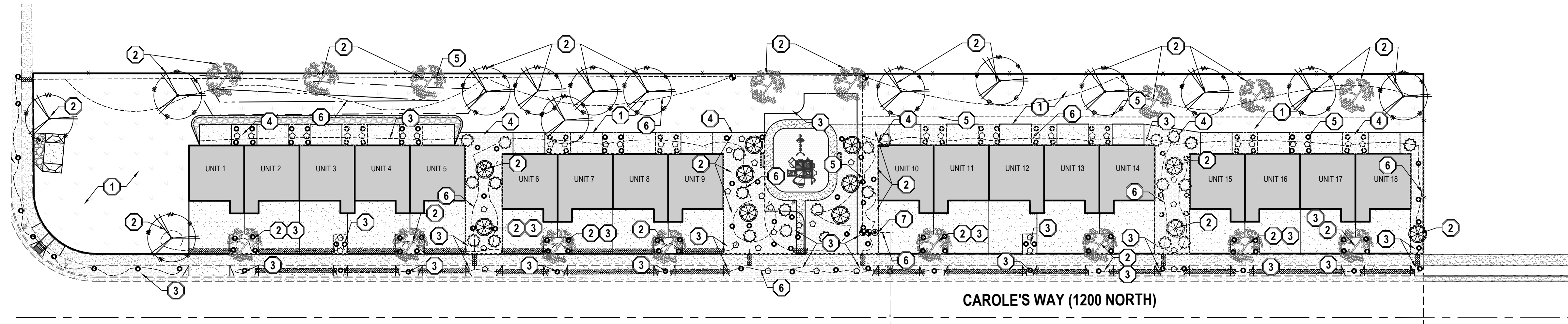
TOTAL SOD AREA: 0.51 ACRE
TOTAL DRIP AREA: 0.46 ACRE

SOD USAGE: 1.02 AF
DRIP USAGE: 0.92 AF

TOTAL LANDSCAPE USAGE = 1.94 AF

SITE SUMMARY TABLE

| DESCRIPTION | AREA (SF) | PERCENTAGE |
|------------------|------------|------------|
| HARDSCAPE | 3256 | 5% |
| ROOF | 12,898 | 23% |
| GRAVEL/DRIP AREA | 20,309 | 36% |
| GRASS | 19,663 | 35% |
| SAND | 749 | 1% |
| TOTAL AREA | 56,415 | 100% |
| | 1.30 ACRES | |



ENSIGN
THE STANDARD IN ENGINEERING

TOOELE
169 N. Main Street, Unit 1
Tooele, UT. 84074
Phone: 435.843.3590

SALT LAKE CITY
Phone: 801.255.0529

LAYTON
Phone: 801.547.1100

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
UPDWELL HOMES, LLC
890 HERITAGE PARK BLVD STE 104
LAYTON, UTAH 84041

CONTACT:
JAYSON HASKELL
PHONE: 801-784-9100

**LOT 107 TOWNHOMES OF LEXINGTON
AT OVERLAKE SUBDIVISION
641 WEST CAROLE'S WAY
TOOELE, UTAH 84074**

LANDSCAPE PLAN

PROJECT NUMBER: 82600
PRINT DATE: 2024-08-16

DRAWN BY: C. CHILD
CHECKED BY: C. CHILD

PROJECT MANAGER:
C. CHILD

L-100

**Tooele City Planning Commission
Business Meeting Minutes**

Date: Wednesday, September 11, 2024

Time: 7:00 p.m.

Place: Tooele City Hall Council Chambers
90 North Main Street, Tooele Utah

Commission Members Present:

Tyson Hamilton
Weston Jensen
Kelley Anderson
Matt Robinson
Jon Gossett
Alison Dunn

Commission Members Excused:

Melanie Hammer
Chris Sloan
Jon Proctor

City Council Members Present:

Ed Hansen
Maresa Manzione

City Employees Present:

Andrew Aagard, City Development Director
Jared Hall, City Planner
Paul Hansen, City Engineer
Roger Baker, City Attorney

Minutes prepared by Katherin Yei

Chairman Hamilton called the meeting to order at 7:00 p.m.

1. Pledge of Allegiance

The Pledge of Allegiance was led by Chairman Hamilton.

2. Roll Call

Jon Gossett, Present
Tyson Hamilton, Present
Matt Robinson, Present
Weston Jensen, Present
Kelley Anderson, Present
Alison Dunn, Present

Melanie Hammer, Excused
Jon Proctor, Excused
Chris Sloan, Excused

3. Public Hearing and Decision – Application #2024-046, a request by Mark Runyon and the New Life Christian Academy for Conditional Use Permit approval to allow the operation of a private school on property located at 411 E. Utah Avenue in the R1-7, Residential zoning district.

Presented by Jared Hall, City Planner

Mr. Hall presented a Conditional Use Permit for the New Life Christian Academy private school. The school will be run inside the existing building of the Church. It is zoned R1-7. The is extended road for parking.

The Planning Commission asked the following questions:
What is the maximum capacity allowed in the building?

Mr. Hall addressed the Commission’s questions. The number of students will be very small in comparison to the congregation of the church.

The public hearing was opened. No one came forward. The public hearing was closed.

Mr. Hall read additional comments into the record. These were received via email and phone call prior to the meeting. Both comments were in support of this item.

Commissioner Robinson motioned to approve the request by Mark Runyon and the New Life Christian Academy for Conditional Use Permit approval to allow the operation of a private school on property located at 411 E. Utah Avenue in the R1-7, Residential zoning district based on the findings and subject to the conditions listed in the staff report.

Commissioner Dunn seconded the motion. The vote was as follows: Commissioner Dunn, “Aye”, Commissioner Gossett, “Aye”, Chairman Hamilton, “Aye”, Commissioner Robinson, “Aye”, Commissioner Jensen, “Aye”, and Commissioner Anderson, “Aye”. The motion passed.

4. Public Hearing and Recommendation – Application #2024-040, a request by Amy Johnson to amend the Land Use Map designation of 4.91 acres of property located at approximately 105 East 1000 North from Regional Commercial to Mixed Use.

Presented by Jared Hall, City Planner

Mr. Hall presented a Land Use Map amendment for the property located at 105 East 1000 North. It is currently zoned RR-1. It is contained within the Regional Commercial Land Use Map designation. The applicant is asking for Mixed-Use Land Use. It supports Mixed-Use Broadway and Mixed-Use General. Live-work units are being suggested for this property. These would be small businesses on the ground floor, with living units above.

The Planning Commission asked the following questions:

What regulations become a part of the property with a Land Use change?
What are the setbacks requirements between properties?
How are the live-work unit taxed?

Mr. Hall addressed the Commission's questions. With a Land Use Map amendment, there are no regulations. The zoning change and development application will have regulations that they will discuss. Making the Land Use Designation does not obligate the City to make a zoning change. There are setbacks and buffer zones between properties.

Mr. Baker addressed the Commission in regards to live-work units.

The public hearing was opened. No one came forward. The public hearing was closed.

Mr. Garrett addressed the Commission. Their vision is to keep more businesses and tax revenue in Tooele City.

The public hearing was opened.

Robert Childs asked questions about noise from the surrounding businesses.

The public hearing was closed.

Commissioner Andrew motioned to approve a request by Amy Johnson to amend the Land Use Map designation of 4.91 acres of property located at approximately 105 East 1000 North from Regional Commercial to Mixed Use based on the findings and subject to the conditions listed in the staff report. Commissioner Jensen seconded the motion. The vote was as follows: Commissioner Dunn, "Aye", Commissioner Gossett, "Aye", Chairman Hamilton, "Aye", Commissioner Robinson, "Aye", Commissioner Jensen, "Aye", and Commissioner Anderson, "Aye". The motion passed.

5. City Council Reports

Council Member Manzione reported the following from the City Council meeting:
There was not a meeting last week because the Council attended training.

6. Review and Approval – Planning Commission Minutes

There are no changes to the minutes.

Commissioner Jensen motioned to approve the minutes. Commissioner Anderson seconded the motion. The vote was as follows: Commissioner Dunn, "Aye", Commissioner Gossett, "Aye", Chairman Hamilton, "Aye", Commissioner Robinson, "Aye", Commissioner Jensen, "Aye", and Commissioner Anderson, "Aye". The motion passed.

7. Land Use Training – Subdivision and Site Plan Development and Review.

Presented by Andrew Aagard, Community Development Director

Mr. Aagard presented training on subdivision and site plan development and review.

8. Adjourn

Chairman Hamilton adjourned the meeting at 8:40 p.m.

The content of the minutes is not intended, nor are they submitted, as a verbatim transcription of the meeting. These minutes are a brief overview of what occurred at the meeting.

Approved this ____ day of September, 2024

Tyson Hamilton, Tooele City Planning Commission Chair

DRAFT