

PUBLIC NOTICE

NOTICE IS HEREBY GIVEN THAT the Tooele City Planning Commission will meet in a business meeting scheduled for **Wednesday, July 9, 2025** at the hour of 7:00 p.m. The meeting will be held in the City Council Chambers of Tooele City Hall, located at 90 North Main Street, Tooele, Utah.

We encourage anyone interested to join the Planning Commission meeting electronically through Tooele City's YouTube channel by logging onto www.youtube.com/@tooelecitey or searching for our YouTube handle @tooelecitey. If you would like to submit a comment for any public hearing item you may email pcpubliccomment@tooelecitey.gov any time after the advertisement of this agenda and before the close of the hearing for that item during the meeting. Emails will only be read for public hearing items at the designated points in the meeting.

AGENDA

1. **Pledge of Allegiance**
2. **Roll Call**
3. **Public Hearing and Recommendation** on proposed ordinance amendments to Tables 1, 2 and 3 of Tooele City Code 7-14 Residential Zoning Districts and Tooele City Code 7-1-5; Definitions, regarding the construction of twin homes in certain residential zoning districts and zero lot line construction.
4. **Decision** on a Site Plan Design Review request by Nick Berlin for the Edenbrooke town home development located at 1772 North Broadway Avenue in the MR-16 Multi-Family Residential Zoning district on .20 acres.
5. **Decision** on a Site Plan Design Review request by Building Dynamics for the Lot 105 Townhomes of Lexington development located at 1255 North 680 West in the MR-16 Multi-Family Residential Zoning district on 1.29 acres.
6. **Decision** on a Preliminary Subdivision Plan request by DR Horton for Western Acres Phase 3A proposed to be located at approximately 1600 North Copper Canyon Drive in the MR-16 PUD Multi-Family Residential Zoning district on approximately 14.8 acres.
7. **City Council Reports**
8. **Review and Decision** – Minutes of the Planning Commission meeting held June 25, 2025.
9. **Adjourn**

Pursuant to the Americans with Disabilities Act, individuals needing special accommodations during this meeting should notify Andrew Aagard, Community Development Director, prior to the meeting at (435) 843-2132.

STAFF REPORT

July 1, 2025

To: Tooele City Planning Commission
Business Date: July 9, 2025

From: Planning Division
Community Development Department

Prepared By: Andrew Aagard, Community Development Director

Re: Twin Homes – City Code Text Amendment Request

Applicant: Tooele City

Request: Request for approval of a City Code Text Amendment to Tables 1, 2 and 3 of Tooele City Code 7-14 Residential Zoning Districts and Tooele City Code 7-1-5; Definitions, regarding the construction of twin homes in certain residential zoning districts and zero lot line construction.

BACKGROUND

Tooele City Staff is proposing amendments to the Table of Uses, the Table of Allowed Density and the Table of Site Planning and Development Standards for primary Buildings and Structures as found in Tooele City Code 7-14; Residential Zoning Districts, and proposing amendments to Tooele City Code 7-1-5; Definitions, regarding the construction of twin homes in certain residential zoning districts and to enable zero lot line construction, which the code currently does not address or permit.

ANALYSIS

The Proposed Amendments. Tooele City has an abundance of twin homes. Drive through Shetland Meadows Subdivision and many privately owned twin homes will be seen. There is Porter's Place on Coleman Street. Valo on Vine is a development exclusive to twin homes. It is not a unique use in Tooele City to be sure. Recently, Staff have been fielding requests by Habitat for Humanity to construct twin homes in the Murdock Subdivision. Murdock Subdivision is a subdivision that was approved exclusively for single family homes on lots 7,000 square feet or larger. In evaluating our subdivision standards and ordinances it has been discovered that the ordinance does not clearly address twin homes.

Tooele City's MR-16, MR-12, MR-8, R1-7 and R1-8 Residential zoning districts permit the construction of two family dwellings, also known as duplexes. The issue isn't the use of two family dwellings within these zones as the use is already permissible. The issue involves the location of the property line and the ordinance's requirements for building setbacks from property lines. It is the intent of Staff to resolve this issue and to create a clear distinction in the code for zero lot line development as it relates to twin homes.

There is a difference between a duplex and a twin home.

- A duplex is a multi-family home. In a duplex there are two units with two sets of tenants. A duplex has one owner that is responsible for renting out and maintaining the entire property.
- A twin home also has two units, however, twin homes are technically classified as single-family homes because the twin home owner owns and maintains their half of the property.

Tooele City codes easily permit a duplex because when a duplex is constructed it does not involve a property line bisecting the unit into two. The duplex structure rests in the middle of a large lot and as such does not result in any setback issues. The issue arises when it is desired to create a twin home. A twin home proposes to divide

the two family dwelling right down the middle of the structure creating a zero lot line development which our code currently does not address, anywhere.

It should also be noted that in order to construct a duplex in Tooele City the ordinance requires double the lot size that is required for a single-family dwelling. For example, in the R1-7 Residential zone in order to build a duplex the lot size must be 14,000 square feet where the minimum lot size for a single-family residential structure is 7,000 square feet. With a duplex, the 14,000 square foot lot size is clearly defined in the ordinance. With a twin home it is not clearly defined because the lot will be divided into two privately owned lots, the property line extending down the middle of the structure. Staff would like the code clearly address twin home lot sizes as well.

Therefore, Staff is proposing the following amendments to the City code to make twin home developments more feasible and permissible under the City code:

1. 7-1-5. Definitions: Staff is proposing two definitions be added to the ordinances definition section.
 - a. Add twin home to the ordinance’s definition of a two family dwelling.
 - b. Define a duplex as a two family dwelling that shares a center wall on one shared lot.
 - c. Define a twin home as a two family dwelling that shares a center wall and the lot line extends down the middle of the home dividing the structure into two privately owned units on privately owned lots.
2. 7-14 Residential Zoning Districts Table 1: Table of Uses: Staff is proposing to make a “condominium” dwelling a conditional use in both the R1-7 and R1-8 Residential zoning districts. A condo plat is one way that a twin home development can be facilitated. However, currently a condo plat can only occur on properties in the MR zoning districts. Permitting condo plats for two family dwellings in zones that permit two family dwellings is another tool in the City’s tool box to facilitate twin home developments.
3. 7-14 Residential Zoning Districts Table 2: Table of Allowed Density: Staff is proposing two changes to this table.
 - a. Removing the row titled “zones being replace by inclusion.” This was included in the table years ago when the City eliminated the HDR and MDR zoning districts and went with the RM zoning districts for multi-family zones. It served a purpose years ago but is entirely unnecessary today.
 - b. On the two family dwelling row Staff proposes the addition of “twin home” with lot size clearly defined. If one desires to do a twin home each privately owned lot shall be the same size as a single-family dwelling lot. This lot size issue should be discussed to determine if this is how the Council wants to proceed.
4. 7-14 Residential Zoning Districts Table 3: Site Planning and Development Standards for Primary Buildings and Structures. Staff is proposing three changes to this table and they are as follows:
 - a. Staff is proposing to strike the minimum lot width requirement for properties in the MR-20, MR-16, MR-12 and MR-8 Multi-Family Residential zoning districts. These lot width requirements were included in the table during a time when the City code permitted single-family construction in multi-family residential zones. At least 5 years ago the City eliminated the construction of single-family homes in multi-family zones and as such the lot width requirement is no longer necessary. In fact, this lot with requirement often comes into conflict with town house development and the lack of minimum lot size requirement that was placed into the code to facilitate private ownership of town homes.
 - b. Staff is proposing the addition of two footnotes regarding Minimum Side Yard Setbacks for Interior lots, specifically on the R1-7 and R1-8 columns. The foot note will then direct the reader to the notes section at the end of the table.
 - c. Staff is proposing to expand note #2 to state “Twin Homes may be permitted a zero lot line for internal side yard setbacks.” Including this in the code will clearly permit zero lot line development and eliminate the ambiguity of how we permit the property line extending down the middle of a structure for two family dwellings.

The proposed amendments do not create any new uses that currently are not permissible in these zoning districts. The proposed amendments are intended to create greater flexibility in two family housing development. Under the proposed amendments a developer can now build two family dwellings in the three following ways. 1) Duplex, 2) Condo and 3) Twin home, where currently, if we go by the letter of the ordinance, a two family dwelling can only be a duplex.

Staff is confident that this will help facilitate great flexibility in construction of affordable homes within Tooele City and also assist staff in reviewing these proposed housing arrangements and ensuring they meet and comply with the City Code. The propose amendments will also eliminate hundreds of currently legally non-conforming zero lot line twin homes and bring them into conformity with the code.

Building Codes. It should be emphasized that the zoning code does not supersede the building code. If the code is amended to permit zero lot line development, the twin homes and town homes will still need to comply with all required building codes regarding appropriate separation, fire safety, and so forth.

Ordinances Affected. The following ordinance affects minor subdivisions:

1. Title 7; Uniform Zoning, Chapter 14, Residential Zoning Districts.
 - a. Table 1: Table of Uses.
 - b. Table 2: Table of Allowed Density.
 - c. Table 3: Table of Site Planning and Development Standards for Primary Buildings and Structures.
2. Title 7; Uniform Zoning, Chapter 1-5, Definitions

Criteria For Approval. The criteria for review and potential approval of a City Code Text Amendment request is found in Sections 7-1A-7 of the Tooele City Code. This section depicts the standard of review for such requests as:

- (1) No amendment to the Zoning Ordinance or Zoning Districts Map may be recommended by the Planning Commission or approved by the City Council unless such amendment or conditions thereto are consistent with the General Plan. In considering a Zoning Ordinance or Zoning Districts Map amendment, the applicant shall identify, and the City Staff, Planning Commission, and City Council may consider, the following factors, among others:
 - (a) The effect of the proposed amendment on the character of the surrounding area.
 - (b) Consistency with the goals and policies of the General Plan and the General Plan Land Use Map.
 - (c) Consistency and compatibility with the General Plan Land Use Map for adjoining and nearby properties.
 - (d) The suitability of the properties for the uses proposed viz. a. viz. the suitability of the properties for the uses identified by the General Plan.
 - (e) Whether a change in the uses allowed for the affected properties will unduly affect the uses or proposed uses for adjoining and nearby properties.
 - (f) The overall community benefit of the proposed amendment.

REVIEWS

Planning Division Review. The Tooele City Planning Division has completed their review of the City Code Text Amendment request and has issued the following comments:

1. Currently the ordinance permits duplexes but does not clearly permit twin homes and the necessary zero lot line development to make twin home development possible. By enabling zero lot line development the City then adds another tool to its tool box for residential development.
2. Current ordinances do not address zero lot line development for town homes. This text amendment

- will correct this deficiency and codify zero lot line development for town homes.
3. Current ordinances do not permit condominium plats for two-family dwellings or twin homes. There is no clear reason why a condo plat cannot be applied to a two-family dwelling. This ordinance amendment will provide another means for constructing a two-family dwelling.
 4. The ordinance does not clearly define a duplex or a twin home even though there is a significant difference between the two.
 5. All of these ordinances are a benefit to Tooele City, the City's residents and potential developers in that they provide greater flexibility for constructing two-family dwellings which may assist in reducing housing costs.

Engineering & Public Works Review. The Tooele City Engineering Division and Public Works Division have not issued any comments regarding this proposed text amendment.

Fire Department Review. The Tooele City Fire Department has not issued any comments regarding this proposed text amendment.

Noticing. City Staff expressed their desire to amend the City Code and do so in a manner which is compliant with the City Code. As such, notice has been properly issued and posted in the manners outlined in the City and State Codes.

STAFF RECOMMENDATION

Staff recommends the Planning Commission carefully weigh this request for a City Code Text Amendment according to the appropriate tenets of the Utah State Code and the Tooele City Code, particularly Section 7-1A-7(1) and render a decision in the best interest of the community with any conditions deemed appropriate and based on specific findings to address the necessary criteria for making such decisions.

Potential topics for findings that the Commission should consider in rendering a decision:

1. The effect the text amendment may have on potential applications regarding the character of the surrounding areas.
2. The degree to which the proposed text amendment may effect a potential application's consistency with the intent, goals, and objectives of any applicable master plan.
3. The degree to which the proposed text amendment may effect a potential application's consistency with the intent, goals, and objectives of the Tooele City General Plan.
4. The degree to which the proposed text amendment is consistent with the requirements and provisions of the Tooele City Code.
5. The suitability of the proposed text amendment on properties which may utilize its provisions for potential development applications.
6. The degree to which the proposed text amendment may effect an application's impact on the health, safety, and general welfare of the general public or the residents of adjacent properties.
7. The degree to which the proposed text amendment may effect an application's impact on the general aesthetic and physical development of the area.
8. The degree to which the proposed text amendment may effect the uses or potential uses for adjoining and nearby properties.
9. The overall community benefit of the proposed amendment.
10. Other findings the Commission deems appropriate to base their decision upon for the proposed application.

MODEL MOTIONS

Sample Motion for a Positive Recommendation – “I move we forward a positive recommendation to the City Council for the Twin Homes Text Amendment request by Tooele City for the purpose of amending Tooele City Codes to permit zero lot line development for twin homes and town houses, clearly define duplexes and twin homes, and permit condominium development for two-family dwellings, based on the following findings:”

1. List findings ...

Sample Motion for a Negative Recommendation – “I move we forward a negative recommendation to the City Council for the Twin Homes Text Amendment request by Tooele City for the purpose of amending Tooele City Codes to permit zero lot line development for twin homes and town houses, clearly define duplexes and twin homes, and permit condominium development for two-family dwellings, based on the following findings:”

1. List findings ...

EXHIBIT A

TWIN HOMES TEXT AMENDMENT PROPOSED AMENDMENTS

Table 2: Table of Allowed Density

	Residential Zoning Districts									
	Multi-Family				Medium Density			Low Density		
	MR-20	MR-16	MR-12	MR-8	R1-7	R1-8	R1-10	R1-12	R1-14	R1-30
Zones Being Replaced by Inclusion	-	HDR, RM 16 (and proposed RM12)	-	MDR, R2-8 (and proposed RM 10, RM 8)	R1-7	R1-8, R1-9 (and proposed RM 4)	R1-10 (and proposed RM 4)	R1-12	R1-14	R1-30
Single Family Dwelling/Minimum Lot Size (square feet)	Not Permitted	Not Permitted	Not Permitted	Not Permitted	P/7,000	P/8,000	P/10,000	P/12,000	P/14,000	P/30,000
Two-Family Dwelling/Minimum Lot Size (square feet)	Not Permitted	P/10,000 <u>Twin Home – 5,000 each lot.</u>	P/11,000 <u>Twin Home– 5,500 each lot.</u>	P/12,000 <u>Twin Home – 6,000 each lot.</u>	P/14,000 <u>Twin Home – 7,000 each lot.</u>	C/16,000 <u>Twin Home – 8,000 each lot.</u>				
Multi-Family Dwelling	P Maximum 20 Units Per Acre	P Maximum 16 ³ Units Per Acre ²	P Maximum 12 ³ Units Per Acre ²	P Maximum 8 Units Per Acre						
Multi-Family Dwelling Minimum Lot Size	No Minimum ⁴	No Minimum ⁴	No Minimum ⁴	No Minimum ⁴						

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Maximum Dwelling Units Per Acre for PUD	20.0	16.0	12.0	8.0	5.0	4.0	3.5	3.0	2.5	1.2
Other Allowed Uses (Minimum Square Feet Required)	8,000	8,000	8,000	8,000	10,000	10,000	12,000	12,000	14,000	30,000

Table 7-14 Allowed Density

Table 3: Site Planning and Development Standards for Primary Buildings and Structures

	Residential Zoning District													
	MR-20	MR-16	MR-12	MR-8	R1-7	R1-8	R1-10	R1-12	R1-14	R1-30	RR-1	RR-5	RR-20	MU-160
Minimum Lot Width (At Front Property Line)	35	35	35	35	35	35	35	35	35	35	100	200	250	1320
Minimum Lot Width (Interior Lots at Front Setback, Single-Family)					60	75	85	85	90	100	100	200	250	1320
Minimum Lot Width ³ (Corner Lots at Front Setback on Each Frontage, Single-Family)					80	90	100	110	120	120	120	200	250	1320
Minimum Lot Width (At Front Setback, Two-Family)	60	60	60	60	60	75	85	85	90	100	100	200	250	1320
Minimum Lot Width (At Front Setback, All Other Residential Uses)	70	70	75	75	60	75	85	85	90	100	100	200	250	1320
Minimum Lot Width (At Front Setback, All Other Uses)	80	80	80	80	80	80	100	100	100	100	100	200	250	1320
Minimum Front Yard Setback	25 ft. ²	25 ft. ²	25 ft. ²	25 ft. ²	20	20	25	25	25	30	30	30	30	30
Minimum Rear Yard Setback (Interior Lot)	20 ft. ²	25 ft. ²	25 ft. ²	25 ft. ²	20	20	25 ft. ¹	25 ft. ¹	30 ft. ¹	30	30	60	60	60
Minimum Rear Yard Setback (Corner Lot)	20 ft. ²	20	20	20	20	20	30 ft. ²	30	30	30	30	60	60	60
Minimum Side Yard Setback (Interior Lot)	10 ft. ²	6 ft. ²	6 ft. ²	6 ft. ²	6	8	10	10	10	12	20	20	60	
Minimum Side Yard Setback (Corner Lot)	15 ft. ²	15 ft. ²	15 ft. ²	15 ft. ²	20	20	20	20	20	20	30	60	60	
Maximum/Minimum Building Height ⁴	45 ft./1 story	35 ft./1story	35 ft./1 story	35 ft./1 story	35 ft./1 story	35 ft./1 story	35 ft./1 story	35 ft./1 story	35 ft./1 story	35 ft./1 story	35 ft./1 story	35 ft./1 story	35 ft./1 story	35 ft./1 story

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Total Lot Coverage (All Buildings)	40%	40%	40%	40%	35%	35%	35%	35%	35%	25%	20%	10%	10%	10%
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Table 7-14 Site Planning and Development Standards for Primary Buildings and Structures

(Ord. 2022-22, 07-06-2022) (Ord. 2020-45, 11-18-2020)

¹ The minimum rear yard setback may be reduced by up to 25% for not more than 20% of the width of the rear yard, measured at the rear yard property line.

(Ord. 2020-45, 11-18-2020) (Ord. 2005-15, 06-15-2005) (Ord. 2003-24, 11-05-2003) (Ord. 2000-08, 06-07-2000)

² Multi-family developments subject to Chapter 7-11a of this Title shall follow setback requirements in Section 7-11a-6. Twin Homes may be permitted a zero lot line for internal side setbacks.

(Ord. 2019-08, 03-20-2019)

³ Minimum lot width for corner lots may be reduced to the minimum lot width requirement of interior lots when proper notation on the approved plat determines and restricts the orientation of the primary residential structure on the lot to that frontage only.

(Ord. 2020-45, 11-18-2020)

⁴ For churches and religious worship facilities over 50,000 square feet see Section 7-2-8.

(Ord. 2021-05, 02-17-2021)

⁵All uncovered porches, walk out basement stairwells, decks, and balconies may extend or encroach into the rear yard setback, subject to adopted uniform codes.

7-1-5. Definitions.

Dwelling; Two-family – A structure designed to be occupied by two families, the structure having two dwelling units. Includes a duplex and twin home.

Duplex; A two family dwelling that shares a center wall on one shared lot.

Twin Home; - A two family dwelling that shares a center wall and the lot line extends down the middle of the home dividing the structure into two privately owned units on privately owned lots.

STAFF REPORT

June 30, 2025

To: Tooele City Planning Commission
Business Date: July 9, 2025

From: Planning Division
Community Development Department

Prepared By: Andrew Aagard, Community Development Director

Re: Edenbrooke – Site Plan Design Review Request

Application No.: 2024036
Applicant: Nick Berlin
Project Location: 1772 North Broadway Avenue
Zoning: MR-16 Multi-Family Residential Zone
Acreage: .2 Acres (Approximately 8,712 ft²)
Request: Request for approval of a Site Plan Design Review in the MR-16 Multi-Family Residential zone authorizing the construction of three attached town homes.

BACKGROUND

This application is a request for approval of a Site Plan Design Review for approximately .2 acres located at the intersection of Broadway Avenue and Copper Canyon Drive. The property is currently zoned MR-16 Multi-Family Residential. The applicant is requesting that a Site Plan Design Review be approved to allow for the development of the currently vacant lot into three attached town home units.

ANALYSIS

General Plan and Zoning. The Land Use Map of the General Plan calls for the Medium Density Residential land use designation for the subject property. The property has been assigned the MR-16 Multi-Family Residential zoning classification, supporting approximately sixteen dwelling units per acre. The MR-16 Multi-Family Residential zoning designation is not identified by the General Plan as a preferred zoning classification for the Medium Density Residential land use designation. All of the surrounding properties are also zoned MR-16, however, some of the properties have been developed as single-family residential dating back to a time when the MR-16 zoning district permitted single-family residential land uses. Mapping pertinent to the subject request can be found in Exhibit “A” to this report.

Site Plan Layout. The applicant has submitted a site plan proposing development of the .2 acre parcel as 3 attached town home units. A .2 acre lot will yield 3 units under the MR-16 zoning district. The proposed layout is simple. The town homes will be facing Copper Canyon Drive and will all access the same road. Building setbacks and driveway locations all comply with the requirements of the Tooele City Multi-Family Residential design guidelines as well as the MR-16 Residential zoning ordinance.

Landscaping. Landscaping will occupy more than 30% of the site and will consist of gravel mulches along with trees and shrubs in the front yards. Rear yards will include the required trees but will be private yard spaces to be landscaped and maintained by the individual lot owners. 7 trees and 15 shrubs will be installed. The landscaping as proposed meets or exceeds minimum landscape requirements of the multi-family residential design guidelines.

Parking. The development includes a driveway able to accommodate two parked cars as well as a single car garage for a total of three parking stalls. Thanks to recently mandated changes by the State legislature the City must consider the garage space towards parking requirements. Total required parking for this development is 6 parking stalls plus 1 guest parking stall for every 3 units for a total of 7 parking spaces. Total parking spaces available for this development under these new mandated changes are 9 parking spaces which exceed the requirement by two parking spaces.

Architecture. City staff have worked with the applicant to create a building that meets the minimum architectural requirements of the City's Multi-Family Residential Design guidelines as contained in Tooele City Code 7-11a. The front elevations combine three materials, stone accents at the bottom of the front façade, white stucco on the upper portion and a vertical popout of brick accents. The proposed brick and stone accents exceed the requirement of 40% of the front façade to be of brick or stone.

The roofline has been broken up using roof hips and gables in order to provide horizontal variations less than 50 feet as required by the City code.

The building as proposed meets the minimum architectural requirements for horizontal and vertical relief, window trim, entry features, and exterior materials as required by Tooele City Code 7-11a.

Site Amenities. The applicant is proposing one small amenity, a community bench on the north west corner of the development adjacent to Broadway Avenue. It should be noted that the rear yards of each townhome will be private yard space providing the owners of each unit the ability to install their own private amenities. As such the addition of the bench satisfies the requirement that the development provide one community amenity.

Signage. The project fronts onto and each unit accesses a public street. As such there isn't an entry into the development and signage is therefore not required.

Fencing. Where adjacent to single-family residential uses on the south east side of the development the applicant is proposing the construction of a 6 foot solid vinyl fence with white stucco columns. This is the only code required fencing for this development.

Criteria For Approval. The criteria for review and potential approval of a Site Plan Design Review request is found in Sections 7-11-6, 8 and 9 of the Tooele City Code. This section depicts the standard of review for such requests as:

Section 7-11-6. Approval. The Planning Commission, shall determine whether the proposed architectural and site development plans submitted are consistent with [Chapter 7-11 TCC] and with the general policies and objectives of [Title 7 TCC], and shall give or withhold approval accordingly. Before making this determination, the Planning Commission shall receive the written recommendations of the City Engineer, the Accessibility Committee, and the Fire Chief. Such recommendation may be by letter, memorandum, or signature on the plans.

Section 7-11-8. Considerations in review of applications. The Planning Commission and the Engineering Department shall consider the following matters, among others, in their review of applications:

- (1) Considerations relating to traffic safety and traffic congestion:
 - (a) The effect of the site development plan on traffic conditions on abutting streets.

- (b) The layout of the site with respect to locations and dimensions of vehicular and pedestrian entrances, exits, drives, and walkways.
- (c) The arrangement and adequacy of off-street parking facilities to prevent traffic congestion.
- (d) The location, arrangement, and dimensions of truck loading and unloading facilities.
- (e) The circulation patterns within the boundaries of the development.
- (f) The surfacing and lighting of off-street parking facilities.
- (2) Considerations relating to outdoor advertising:
 - (a) The number, location, color, size, height, lighting, and landscaping of outdoor advertising signs and structures in relation to the creation of traffic hazards and the appearance and harmony with neighboring development.
- (3) Considerations relating to landscaping:
 - (a) The location, height, and materials of walls, fences, hedges, and screen plantings to insure harmony with neighboring development, or to conceal storage areas, utility installations, or other unsightly development.
 - (b) The planting of ground cover or other surfacing to prevent dust and erosion.
 - (c) The unnecessary destruction of existing healthy trees.
- (4) Considerations relating to buildings and site layout:
 - (a) Consideration of the general silhouette and mass, including location on the site, elevations, and relation to natural plant coverage, all in relationship to neighboring development.
 - (b) Consideration of exterior design in relation to adjoining structures in height, bulk, and area openings, breaks in facade facing on streets, line and pitch of roofs, and the arrangement of structures on the parcel.
- (5) Considerations relating to drainage:
 - (a) The effect of the site development plan on the adequacy of the storm and surface water drainage, retention, and/or detention.

Section 7-11-9. Considerations. The Planning Commission, or the City Engineer, when authorized, shall decide all applications for design review. Design approval may include such conditions consistent with the considerations of [Chapter 7-11 TCC] as the Planning Commission or City Engineer deem reasonably necessary under the circumstances to carry out the intent of [Chapter 7-11 TCC].

REVIEWS

Planning Division Review. The Tooele City Planning Division has completed their review of the Site Plan Design Review submission and has issued a recommendation for approval for the request with the following comment:

1. The site plan as proposed meets or exceeds all minimum requirements for the site plan, landscaping plan and building elevations as required by Tooele City Code 7-11a, Multi-Family Residential Design Guidelines.

Engineering and Public Works Division Review. The Tooele City Engineering and Public Works Divisions have completed their reviews of the Site Plan Design Review submission and have issued a recommendation for approval for the request.

Tooele City Fire Department Review. The Tooele City Fire Department has completed their review of the Site Plan Design Review submission and has issued a recommendation for approval for the request.

Noticing. Site Plan Design Review applications are administratively reviewed and as such do not require a public hearing. Noticing for this item is not required.

STAFF RECOMMENDATION

Staff recommends approval of the request for a Site Plan Design review by Nick Berlin, application number 2024036, subject to the following conditions:

1. That all requirements of the Tooele City Engineering and Public Works Divisions shall be satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
2. That all requirements of the Tooele City Building Division shall be satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
3. That all requirements of the Tooele City Fire Department shall be satisfied throughout the development of the site and the construction of all buildings on the site.
4. That all requirements of the geotechnical report shall be satisfied throughout the development of the site and the construction of all buildings on the site.

This recommendation is based on the following findings:

1. The proposed development plans meet the requirements and provisions of the Tooele City Code.
2. The proposed development plans will not be deleterious to the health, safety, and general welfare of the general public nor the residents of adjacent properties.
3. The proposed development conforms to the general aesthetic and physical development of the area.
4. The public services in the area are adequate to support the subject development.
5. The site plan as proposed meets or exceeds all minimum requirements for the site plan, landscaping plan and building elevations as required by Tooele City Code 7-11a, Multi-Family Residential Design Guidelines.

MODEL MOTIONS

Sample Motion for Approval – “I move we approve the Site Plan Design Review request by Nick Berlin, for the Edenbrooke townhome development, application number 2024036, based on the findings and subject to the conditions listed in the Staff Report dated June 30, 2025:”

1. List any additional findings and conditions...

Sample Motion for Denial – “I move we deny the Site Plan Design Review request by Nick Berlin, for the Edenbrooke townhome development, application number 2024036, based on the following findings:”

1. List findings...

EXHIBIT A

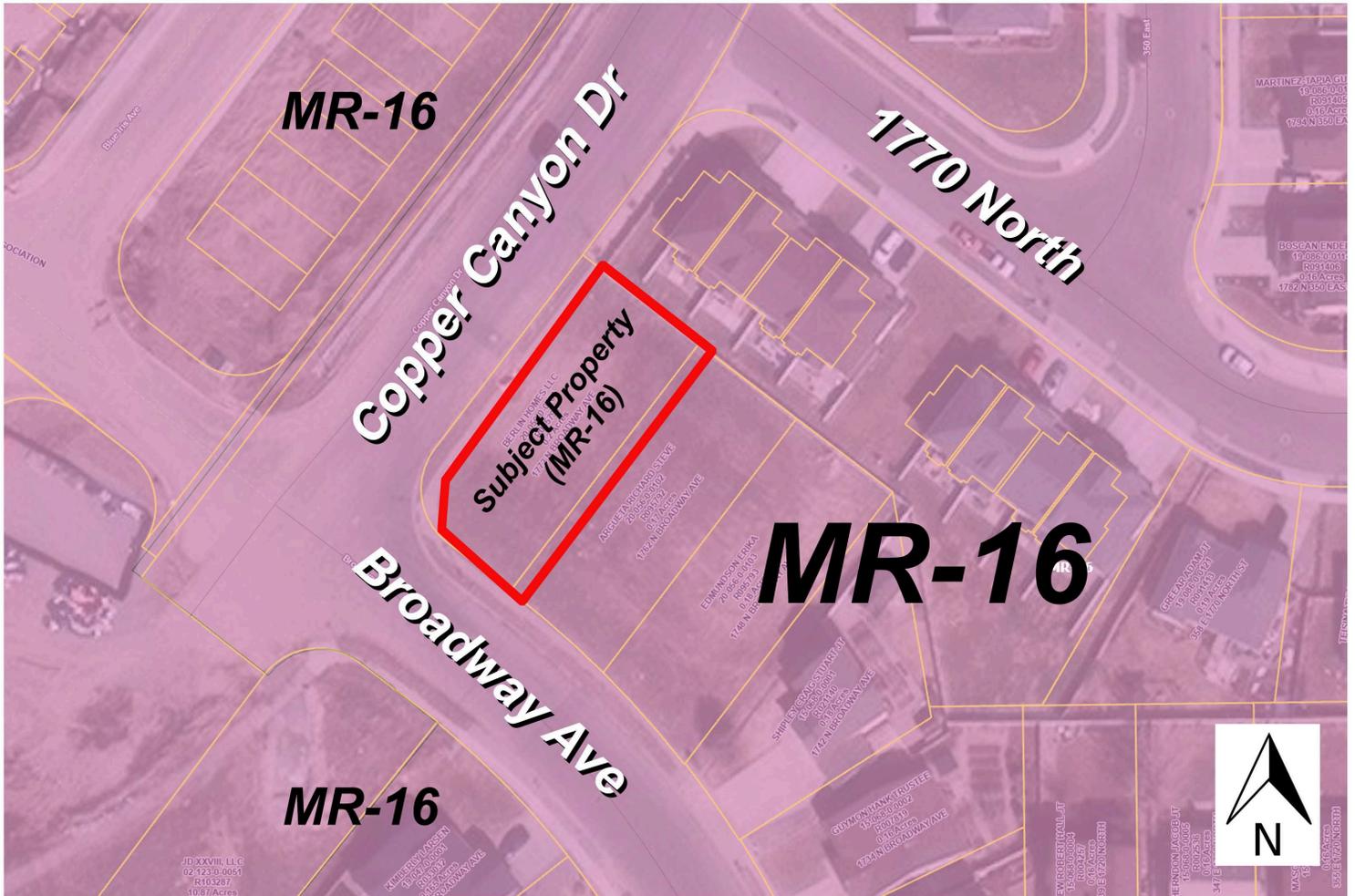
MAPPING PERTINENT TO THE EDENBROOKE SITE PLAN DESIGN REVIEW

Edenbrooke Townhomes Site Plan Design Review



Aerial View

Edenbrooke Townhomes Site Plan Design Review



Current Zoning

EXHIBIT B

**PROPOSED DEVELOPMENT PLANS &
APPLICANT SUBMITTED INFORMATION**

Site Plan Application

Community Development Department
 90 North Main Street, Tooele, UT 84074
 (435) 843-2132 Fax (435) 843-2139
www.tooelecivty.gov



Notice: The applicant must submit copies of the site plans to be reviewed by the City in accordance with the terms of the Tooele City Code. Once a set of site plans are submitted, the plans are subject to compliance reviews by the various city departments and may be returned to the applicant for revision if the plans are found to be inconsistent with the requirements of the City Code and all other applicable City ordinances. All submitted preliminary plan proposals shall be reviewed in accordance with the Tooele City Code. Submission of site plans in no way guarantees placement of the application on any particular agenda of any City reviewing body. It is **strongly** advised that all plans be submitted well in advance of any anticipated deadlines.

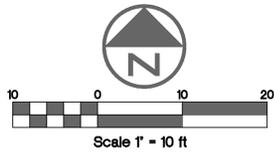
Project Information				2024036			
Date of Submission: 09/01/24		Zone: MTZ-16		Acres: 0.2		Parcel #(s): 20-056-0-0101	
Project Name: Eden brook							
Project Address: 1772 N. Broadway Ave. Tooele, UT							
Project Description: Triplex Townhomes				Phases: 1		Lots: 3	
Property Owner(s): Berlin Homes LLC, Chad Sanders				Applicant(s): Berlin Homes, LLC, Nick Berlin			
Address: 5134 N. Foxtail Way				Address: 5134 N. Foxtail Way			
City: Eagle Mountain		State: UT		Zip: 84005		City: Eagle Mountain	
Phone: 801.596.8100		Email: berlinbuit@gmail.com		Phone: 801.596.8100		Email: berlinbuit@gmail.com	
Contact Person: Nick Berlin				Address: 5134 N. Foxtail Way			
Phone: 801.596.8100				City: Eagle Mountain		State: UT	
Cellular: 801.596.8100		Fax:		Email: berlinbuit@gmail.com			
Engineer & Company: Wilding Engineering							
Address: 14721 S. Heritage Crest Way							
City: Shubert		State: UT		Zip: 84065			
Phone: 801.553.8112		Email: mcarlton@wildingengineering.com					

*The application you are submitting will become a public record pursuant to the provisions of the Utah State Government Records Access and Management Act (GRAMA). You are asked to furnish the information on this form for the purpose of identification and to expedite the processing of your request. This information will be used only so far as necessary for completing the transaction. If you decide not to supply the requested information, you should be aware that your application may take a longer time or may be impossible to complete. If you are an "at-risk government employee" as defined in *Utah Code Ann.* § 63-2-302.5, please inform the city employee accepting this information. Tooele City does not currently share your private, controlled or protected information with any other person or government entity.

Note:

- A new application and checklist must accompany each submittal.
- Developer must submit plans in complete format to facilitate their review. Plans will be reviewed by the City staff, once they are found complete, they will be forwarded to Planning Commission for consideration. (as necessary)
- All fees must be paid at time of first submittal

For Office Use Only				2240746			
Fee: \$1500.00 (213)		Received By: Jade		Date Received: 8/11/24		Receipt #: 073406	



DRAWING NOTES:

LEGEND

- EXISTING WATERLINE
- PROPOSED WATER SERVICE
- PROPOSED 3/4" WATER METER
- EXISTING SEWER MAIN
- PROPOSED 4" SEWER LATERAL
- EXISTING STORM DRAIN



NO.	REVISION	DATE
1	TOOELE CITY COMMENT	5/15/25

PROJECT INFORMATION

EDENBROOKE MINOR SUBDIVISION

MULTI-FAMILY SITE AND UTILITY PLAN

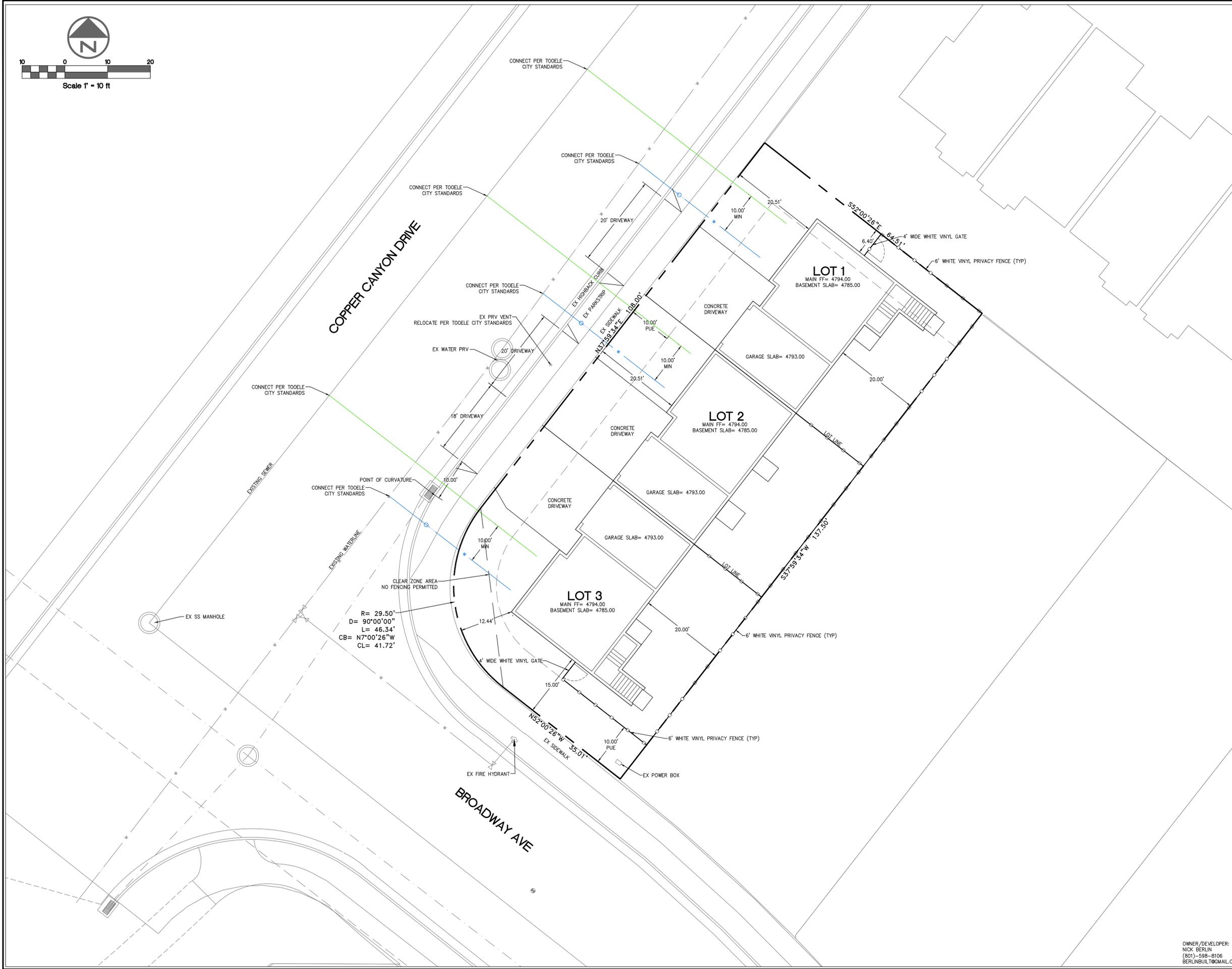
1772 NORTH BROADWAY AVE
TOOELE, UTAH

DRAWN	CHECKED	PROJECT #
TMC	MEC	24150

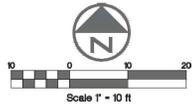
DATE	4/15/25
SCALE	1" = 10'
SHEET	C203



OWNER/DEVELOPER:
NICK BERLIN
(801)-598-8106
BERLINBULT@gmail.com



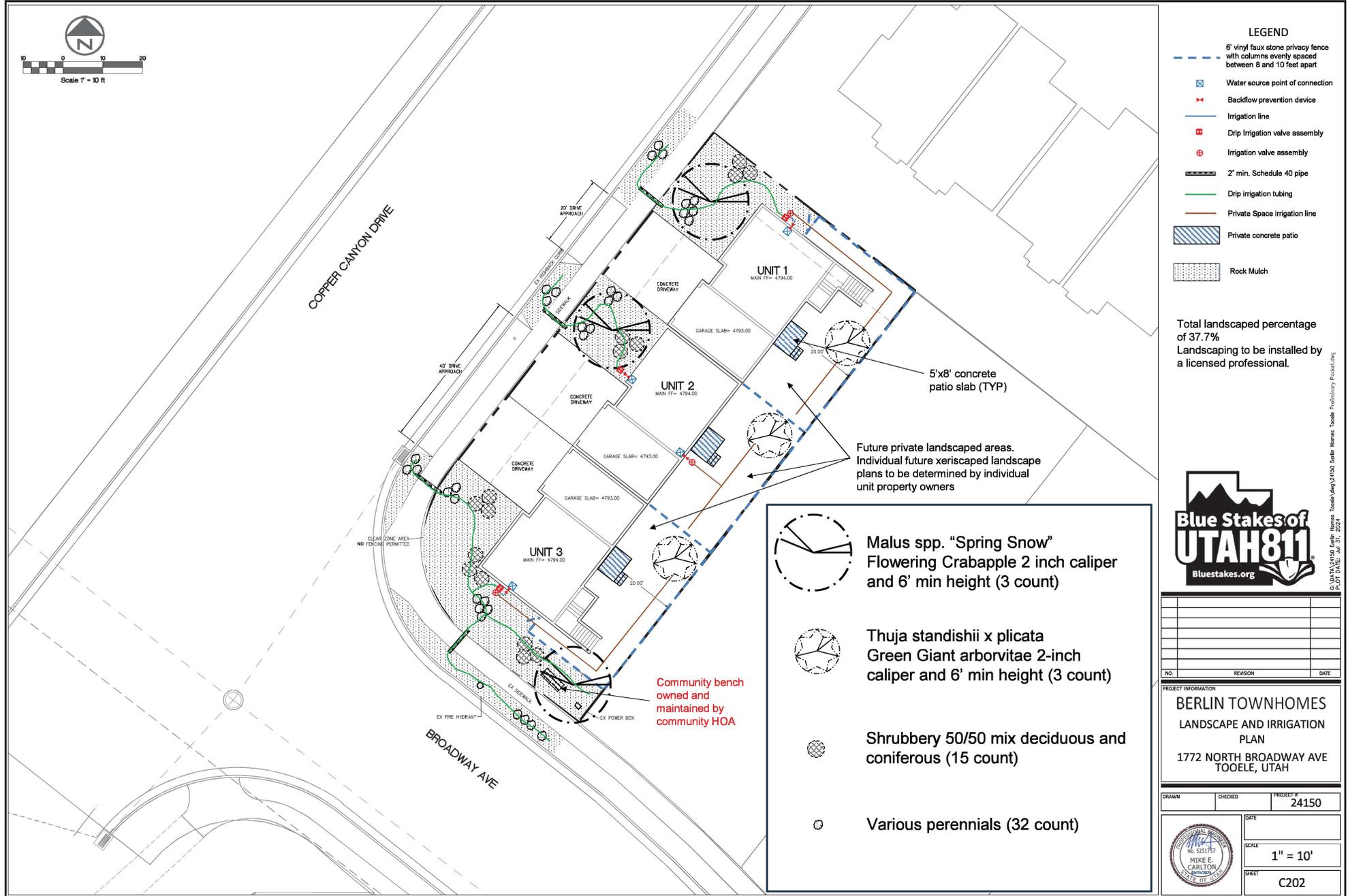
G:\DATA\24150_Berlin_Homes_Tooele\dwg\24150_Edenbrooke_Tooele_Multi-Family_Site_Plan.dwg PLOT DATE: May 15, 2025



COPPER CANYON DRIVE

CLEAR ZONE AREA
NO EXCISE PERMITTED

BROADWAY AVE



LEGEND

- 5' vinyl faux stone privacy fence with columns evenly spaced between 8 and 10 feet apart
- Water source point of connection
- Backflow prevention device
- Irrigation line
- Drip Irrigation valve assembly
- Irrigation valve assembly
- 2" min. Schedule 40 pipe
- Drip irrigation tubing
- Private Space irrigation line
- Private concrete patio
- Rock Mulch

Total landscaped percentage of 37.7%
Landscaping to be installed by a licensed professional.

Future private landscaped areas. Individual future xeriscaped landscape plans to be determined by individual unit property owners

5'x8' concrete patio slab (TYP)

Community bench owned and maintained by community HOA

- Malus spp. "Spring Snow" Flowering Crabapple 2 inch caliper and 6' min height (3 count)
- Thuja standishii x plicata Green Giant arborvitae 2-inch caliper and 6' min height (3 count)
- Shrubbery 50/50 mix deciduous and coniferous (15 count)
- Various perennials (32 count)



NO.	REVISION	DATE

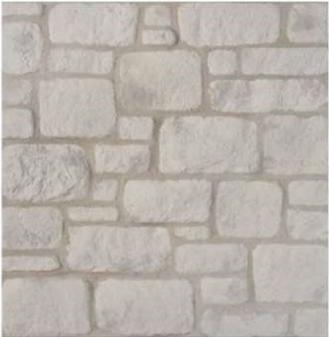
PROJECT INFORMATION
BERLIN TOWNHOMES
 LANDSCAPE AND IRRIGATION PLAN
 1772 NORTH BROADWAY AVE
 TOOELE, UTAH

DRAWN	CHECKED	PROJECT #
		24150

	DATE
	SCALE
	SHEET
1" = 10'	
C202	

© UTAH 24150 Lcplc Homes Tooele Hwy 24150 Lcplc Homes Tooele Preliminary Plotting
 PLOT DATE: Jul 31, 2024

EDENBROOKE TRIPLEX
EXTERIORS



Stone Accents
Austin White



SW 7042
Shoji White

Designer
Color
Collection

Stucco Accents



SW 7036
Accessible
Beige

Window & Door
Trim



Asphalt Shingle
Charcoal



Brick Accents
Soji White SW 7042



EDENBROOKE TRIPLEX
REAR EXTERIORS

SW 7042
Shoji White

Designer
Color
Collection

SW 7036
Accessible
Beige



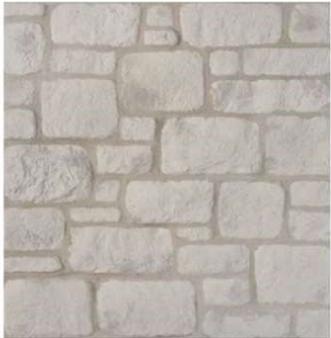
Stucco Accents

Window & Door
Trim & Bump outs

Asphalt Shingle
Charcoal



EDENBROOKE TRIPLEX
Side Exteriors



Stone Accents
Austin White



Stucco Accents



Window & Door
Trim



Asphalt Shingle
Charcoal



Brick Accents
Soji White SW 7042



EDENBROOKE TRIPLEX
FENCING

SW 7042
Shoji White

Designer
Color
Collection

SHOJI WHITE STUCCO COLLUMNS
ACCORDING TO REQUIREMENTS FOR
REQUIRED PERIMETER FENCING



STAFF REPORT

June 26, 2025

To: Tooele City Planning Commission
Business Date: July 9, 2025

From: Planning Division
Community Development Department

Prepared By: Andrew Aagard, Community Development Director

Re: Lot 105 Townhomes of Lexington – Site Plan Design Review Request

Application No.: 2025037
Applicant: Dave Irving, representing Building Dynamics
Project Location: 1255 North 680 West
Zoning: MR-16 Multi-Family Residential Zone
Acreage: 1.29 Acres (Approximately 56,192 ft²)
Request: Request for approval of a Site Plan Design Review in the MR-16 Multi-Family Residential zone regarding the construction of 13 townhomes.

BACKGROUND

This application is a request for approval of a Site Plan Design Review for approximately 1.29 acres located at 1255 North 680 West. The property is currently zoned MR-16 Multi-Family Residential. The applicant is requesting that a Site Plan Design Review be approved to allow for the development of the currently vacant site into two buildings consisting of 13 townhomes as well as the necessary infrastructure to facilitate the new homes, common areas and limited common areas.

ANALYSIS

General Plan and Zoning. The Land Use Map of the General Plan calls for the Multi-Family Residential land use designation for the subject property. The property has been assigned the MR-16 Multi-Family Residential zoning classification, supporting approximately sixteen dwelling units per acre. The MR-16 Multi-Family Residential zoning designation is identified by the General Plan as a preferred zoning classification for the Multi-Family Residential land use designation. Properties to the north and to the west are zoned R1-7 Residential. Properties to the east and to the south are zoned MR-16 Multi-Family Residential. Mapping pertinent to the subject request can be found in Exhibit “A” to this report.

Site Plan Layout. The proposed layout for the development is quite simple. The site plan includes a single row of town homes consisting of one building containing 8 units and another building containing 5 units for a total of 13 units. The property is located between Lexington Greens Drive on the north and Caroles Way (1200 North) on the south. 680 West runs north to south on the east side of the development. Property to the west is currently undeveloped ground.

The townhomes will all face and access 680 West. All surrounding streets are dedicated public rights-of-way under ownership and maintenance of the City. The individual townhomes will be privately owned and the open areas surrounding the townhomes will be common areas owned and maintained by the Lexington Townhomes HOA. Limited common areas will be limited to the driveways and possibly some private patio space behind the units.

The proposed site layout has been reviewed according to the setback requirements of the MR-16 zoning district and the building locations as proposed meet or exceed all minimum setback requirements.

Storm Water Management. There is a storm water management basin at the north end of the development that has been sized and approved by the Tooele City Engineer and is designed to handle significant storm events. The basin will be landscaped with sod and will include a development amenity.

Subdivision Layout. A formal preliminary and final subdivision have been completed for the subject property and staff has confirmed that the subdivision and site plan are identical.

Landscaping. The site has considerable landscaping and open space and includes nearly ½ acre of irrigated sod and then approximately 1/3 of an acre in cobble landscaping with drip irrigated plantings. Total landscaping is approximately 54% of the total lot size.

The site includes the installation of 46 trees which exceeds the ordinance requirement for total number of trees and approximately 50% of the trees are of an evergreen variety. The site will also include the installation of 113 new shrubs located in between the building and at the rear of the building adjacent to the areas designated for active recreation. The landscaping as proposed meets all minimum landscaping requirements of Tooele City Code 7-11a.

Parking. Each unit will include a two car garage and a driveway able to accommodate two parked cars for a total of four parking spaces per unit. This exceeds the parking requirements that were established in City code when the application was submitted for both resident and guest parking.

Architecture. Building architecture has been reviewed by staff and staff confirms that the building elevations as proposed meet or exceed the minimum requirements for brick and stone on the building exterior, that sufficient horizontal and vertical elements are included to provide the necessary articulation and that the roofline is sufficiently broken up to avoid roof lines greater than 50 feet in length.

It should also be noted that this is the same building design as used in the previous Lex Townhomes development located to the east.

Signage. Lot 105 is an extension of the Lexington Townhomes Phases 1-3 development located to the east and Lot 106 located to the south. Development signs are included with the previous phases. It should also be noted that each unit accesses an established public street and therefore there are no formal entrances into this development. Thus, no signs are required for this lot.

Amenities. Amenities do exist in previous phases of the Lexington Townhomes Development, however, the applicant is proposing to install a tot-lot play area on the north end of the development.

Fencing. The western border of the project requires fencing. The applicant is proposing the construction of a concrete wall with a concrete mow curb along the western boundary of the project where adjacent to the R1-7 Residential zoning.

Criteria For Approval. The criteria for review and potential approval of a Site Plan Design Review request is found in Sections 7-11-6, 8 and 9 of the Tooele City Code. This section depicts the standard of review for such requests as:

The Planning Commission, shall determine whether the proposed architectural and site development plans submitted are consistent with [Chapter 7-11 TCC] and with the general policies and objectives of [Title 7 TCC], and shall give or withhold approval accordingly. Before

making this determination, the Planning Commission shall receive the written recommendations of the City Engineer, the Accessibility Committee, and the Fire Chief. Such recommendation may be by letter, memorandum, or signature on the plans.

Section 7-11-8. Considerations in review of applications. The Planning Commission and the Engineering Department shall consider the following matters, among others, in their review of applications:

- (1) Considerations relating to traffic safety and traffic congestion:
 - (a) The effect of the site development plan on traffic conditions on abutting streets.
 - (b) The layout of the site with respect to locations and dimensions of vehicular and pedestrian entrances, exits, drives, and walkways.
 - (c) The arrangement and adequacy of off-street parking facilities to prevent traffic congestion.
 - (d) The location, arrangement, and dimensions of truck loading and unloading facilities.
 - (e) The circulation patterns within the boundaries of the development.
 - (f) The surfacing and lighting of off-street parking facilities.
- (2) Considerations relating to outdoor advertising:
 - (a) The number, location, color, size, height, lighting, and landscaping of outdoor advertising signs and structures in relation to the creation of traffic hazards and the appearance and harmony with neighboring development.
- (3) Considerations relating to landscaping:
 - (a) The location, height, and materials of walls, fences, hedges, and screen plantings to insure harmony with neighboring development, or to conceal storage areas, utility installations, or other unsightly development.
 - (b) The planting of ground cover or other surfacing to prevent dust and erosion.
 - (c) The unnecessary destruction of existing healthy trees.
- (4) Considerations relating to buildings and site layout:
 - (a) Consideration of the general silhouette and mass, including location on the site, elevations, and relation to natural plant coverage, all in relationship to neighboring development.
 - (b) Consideration of exterior design in relation to adjoining structures in height, bulk, and area openings, breaks in facade facing on streets, line and pitch of roofs, and the arrangement of structures on the parcel.
- (5) Considerations relating to drainage:
 - (a) The effect of the site development plan on the adequacy of the storm and surface water drainage, retention, and/or detention.

Section 7-11-9. Considerations. The Planning Commission, or the City Engineer, when authorized, shall decide all applications for design review. Design approval may include such conditions consistent with the considerations of [Chapter 7-11 TCC] as the Planning Commission or City Engineer deem reasonably necessary under the circumstances to carry out the intent of [Chapter 7-11 TCC].

REVIEWS

Planning Division Review. The Tooele City Planning Division has completed their review of the Site Plan Design Review submission and has issued a recommendation for approval for the request with the following comments:

1. The Site Plan, Landscape Plan and Building Elevations meet or exceed all minimum requirements for site plan development as required by Tooele City Code 7-11a and the MR-16 zoning district.

Engineering & Public Works Review. The Tooele City Engineering and Public Works Divisions have completed their reviews of the Site Plan Design Review submission and have issued a recommendation for approval for the request.

Tooele City Fire Department Review. The Tooele City Fire Department has completed their review of the Site Plan Design Review submission and has issued a recommendation for approval for the request.

Noticing. Site plan design reviews do not require a public hearing. Therefore noticing is not required.

STAFF RECOMMENDATION

Staff recommends approval of the request for a Site Plan Design Review by Dave Irving, representing Building Dynamics, application number 2025037, subject to the following conditions:

1. That all requirements of the Tooele City Engineering and Public Works Divisions shall be satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
2. That all requirements of the Tooele City Building Division shall be satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
3. That all requirements of the Tooele City Fire Department shall be satisfied throughout the development of the site and the construction of all buildings on the site.
4. That all requirements of the geotechnical report shall be satisfied throughout the development of the site and the construction of all buildings on the site.

This recommendation is based on the following findings:

1. The proposed development plans meet the intent, goals, and objectives of the Tooele City General Plan.
2. The proposed development plans meet the requirements and provisions of the Tooele City Code.
3. The proposed development plans will not be deleterious to the health, safety, and general welfare of the general public nor the residents of adjacent properties.
4. The proposed development conforms to the general aesthetic and physical development of the area.
5. The public services in the area are adequate to support the subject development.
6. The Site Plan, Landscape Plan and Building Elevations meet or exceed all minimum requirements for site plan development as required by Tooele City Code 7-11a and the MR-16 zoning district.

MODEL MOTIONS

Sample Motion for Approval – “I move we approve the Site Plan Design Review Request by Dave Irving, representing Building Dynamics for the Lot 105 Townhomes of Lexington development, application number 2025037, based on the findings and subject to the conditions listed in the Staff Report dated June 26, 2025:”

1. List findings and conditions...

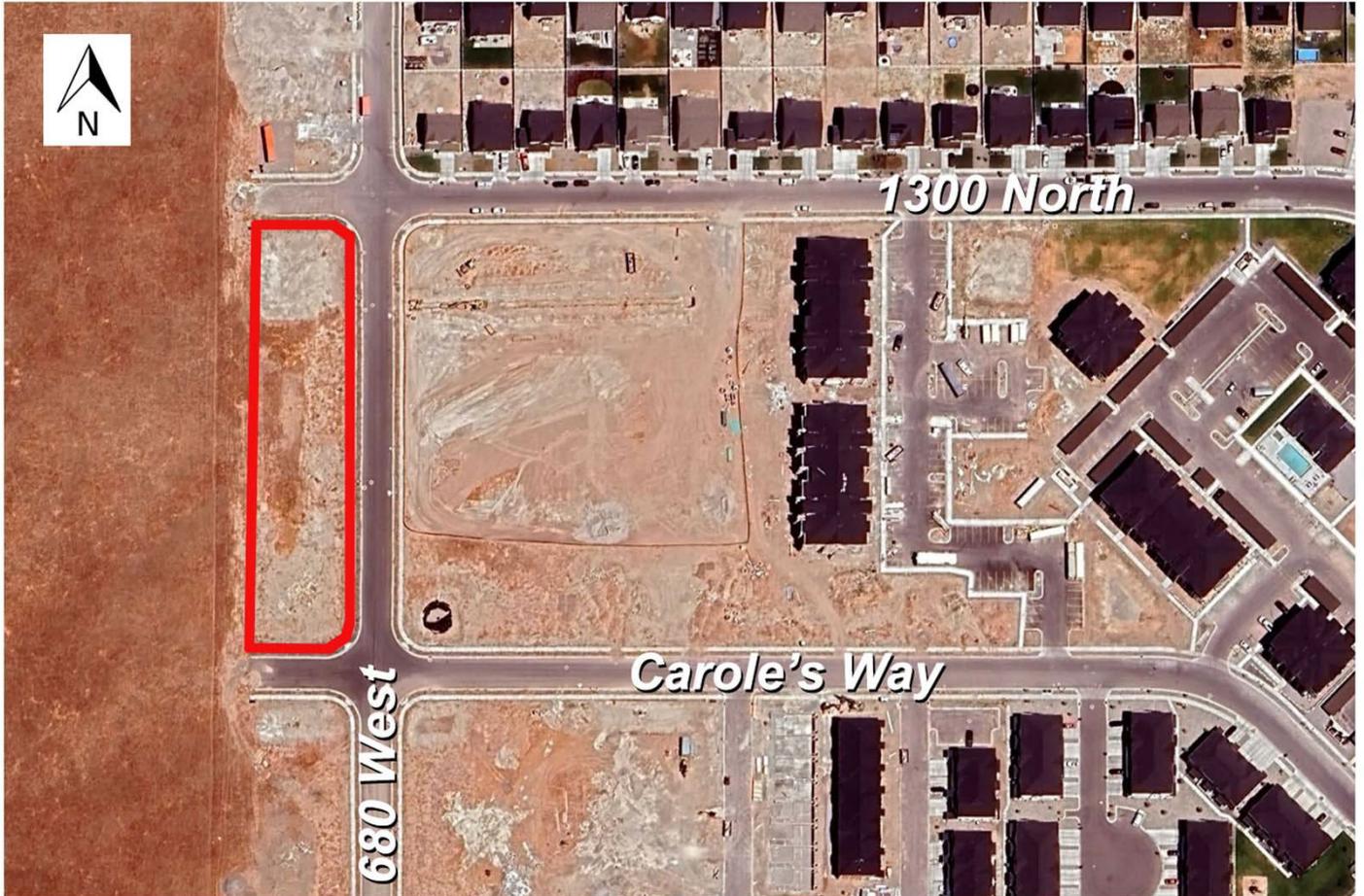
Sample Motion for Denial – “I move we deny the Site Plan Design Review Request by Dave Irving, representing Building Dynamics for the Lot 105 Townhomes of Lexington development, application number 2025037, based on the following findings:”

1. List findings...

EXHIBIT A

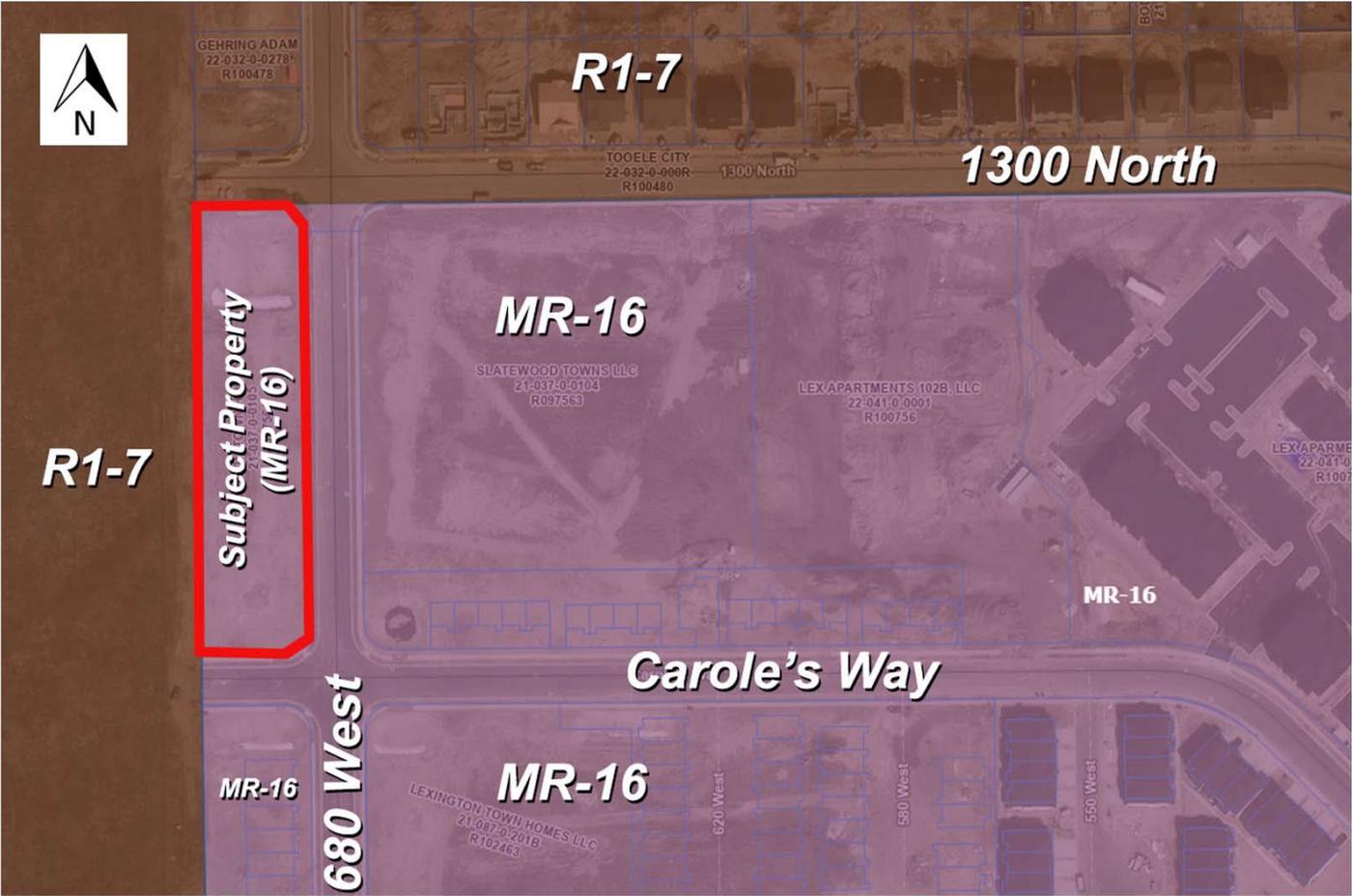
**MAPPING PERTINENT TO THE LOT 105 TOWNHOMES OF LEXINGTON SITE
PLAN DESIGN REVIEW**

Lot 105 Townhomes of Lexington Site Plan Design Review



Aerial View

Lot 105 Townhomes of Lexington Site Plan Design Review



Current Zoning

EXHIBIT B

**PROPOSED DEVELOPMENT PLANS &
APPLICANT SUBMITTED INFORMATION**

Site Plan Application

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Project Information					
Date of Submission: 2025-03-17		Zone: MR-16		Acres: 1.29	
Parcel #(s): 21-037-0-0105					
Project Name: LOT 105 TOWNHOMES OF LEXINGTON					
Project Address: 1255 N 680 WEST					
Project Description: TOWNHOMES ON LOT 105 OF LEXINGTON AT OVERLAKE SUBDIVISION				Phases: 1	
Lots: 13					
Property Owner(s): LEXINGTON TOWN HOMES LLC			Applicant(s): BUILDING DYNAMICS		
Address: 8703 SOUTH SANDY PARKWAY			Address: 8703 SOUTH SANDY PARKWAY		
City: SANDY		State: UT	Zip: 84070		
Phone: 801-301-1549		Email: dave.iring1@gmail.com		Phone: 801-301-1549	
				Email: dave.iring1@gmail.com	
Contact Person: DAVE IRVING			Address: 8703 SOUTH SANDY PARKWAY		
Phone: 801-301-1549			City: SANDY		State: UT
					Zip: 84070
Cellular: 801-301-1549		Fax:		Email: dave.iring1@gmail.com	
Engineer & Company: ENSIGN ENGINEERING					
Address: 169 NORTH MAIN STREET, UNIT 1					
City: TOOELE		State: UT		Zip: 84074	
Phone: 435-843-3590		Email: CCHILD@ENSIGNUTAH.COM			

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- All fees must be paid at time of first submittal

For Office Use Only			
2250118			
Fee: \$2000.00 (213)	Received By:	Date Received: 4/17/25	Receipt #: 7040803

811
Know what's below.
Call before you dig.

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

BENCHMARK

EAST QUARTER CORNER OF SECTION 17,
TOWNSHIP 3 SOUTH, RANGE 4 WEST,
SALT LAKE BASE AND MERIDIAN
ELEV = 4735.78'

GENERAL NOTES

1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
2. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
3. SEE LANDSCAPE/ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH, AND SCORE PATTERNS THROUGHOUT SITE.
4. ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
5. ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
6. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
7. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

SCOPE OF WORK:

- PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS.
- 1 DRIVEWAY APPROACH PER APWA STANDARD PLAN NO. 221.1, REPLACE ANY BROKEN SIDEWALK THROUGH THE DRIVE APPROACH AREA PER TOOELE CITY STANDARDS.
 - 2 PLAYGROUND AREA, SEE OWNER FOR PLAYGROUND EQUIPMENT.
 - 3 TOWNHOME SIGN PER OWNER PER TOOELE CITY STANDARDS.
 - 4 CONCRETE FENCE WITH CONCRETE MOW CURB. INSTALL PER MANUFACTURER STANDARDS SPECIFICATIONS. FENCE STYLE PER TOOELE CITY STANDARDS AND SPECIFICATIONS FENCING REQUIREMENTS. SEE 9/C-500.

NOTE: SOME KEY NOTES MAY NOT BE USED



TOOELE
169 N. Main Street, Unit 1
Tooele, UT. 84074
Phone: 435.843.3590

SALT LAKE CITY
Phone: 801.255.0529

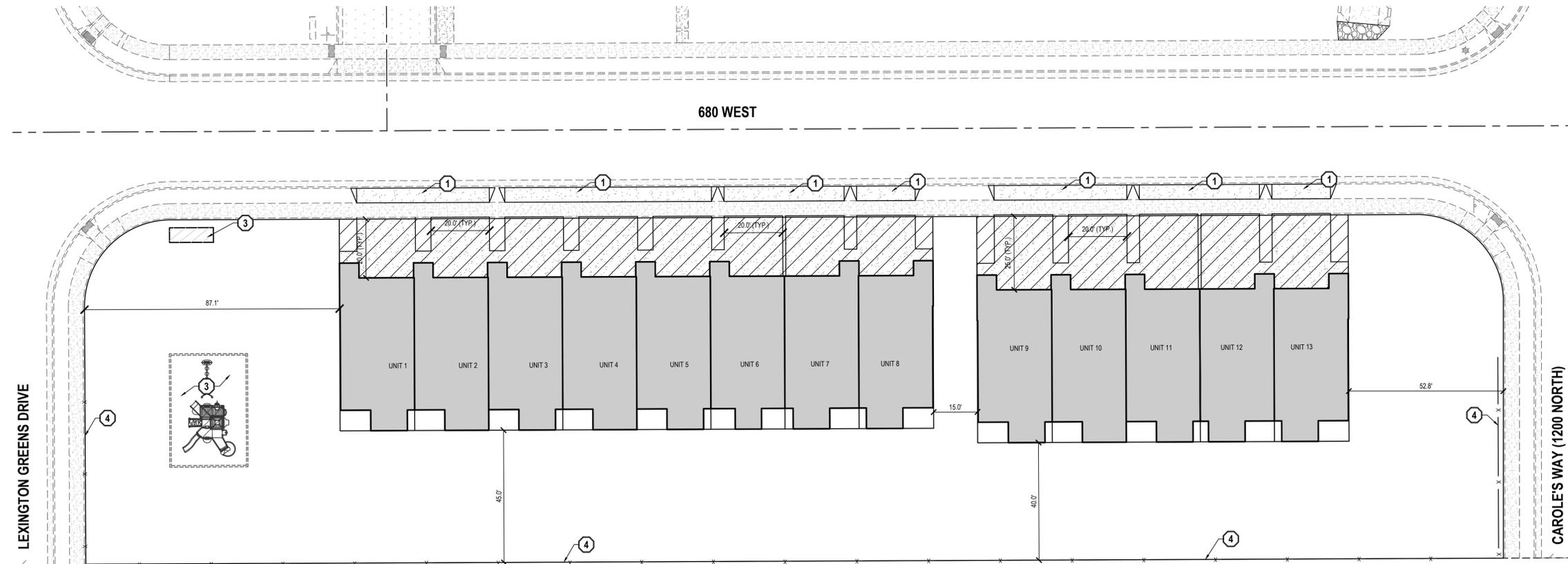
LAYTON
Phone: 801.547.1100

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
BUILDING DYNAMICS
8703 SOUTH SANDY PARKWAY
SANDY, UTAH
CONTACT:
HAROLD IRVING
PHONE: 801-301-1549



LEX TOWNHOMES
LOT 105
1255 NORTH 680 WEST
TOOELE, UTAH 84074

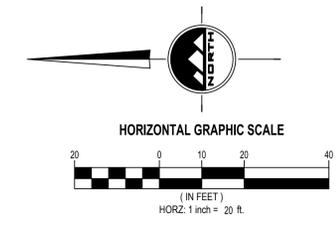


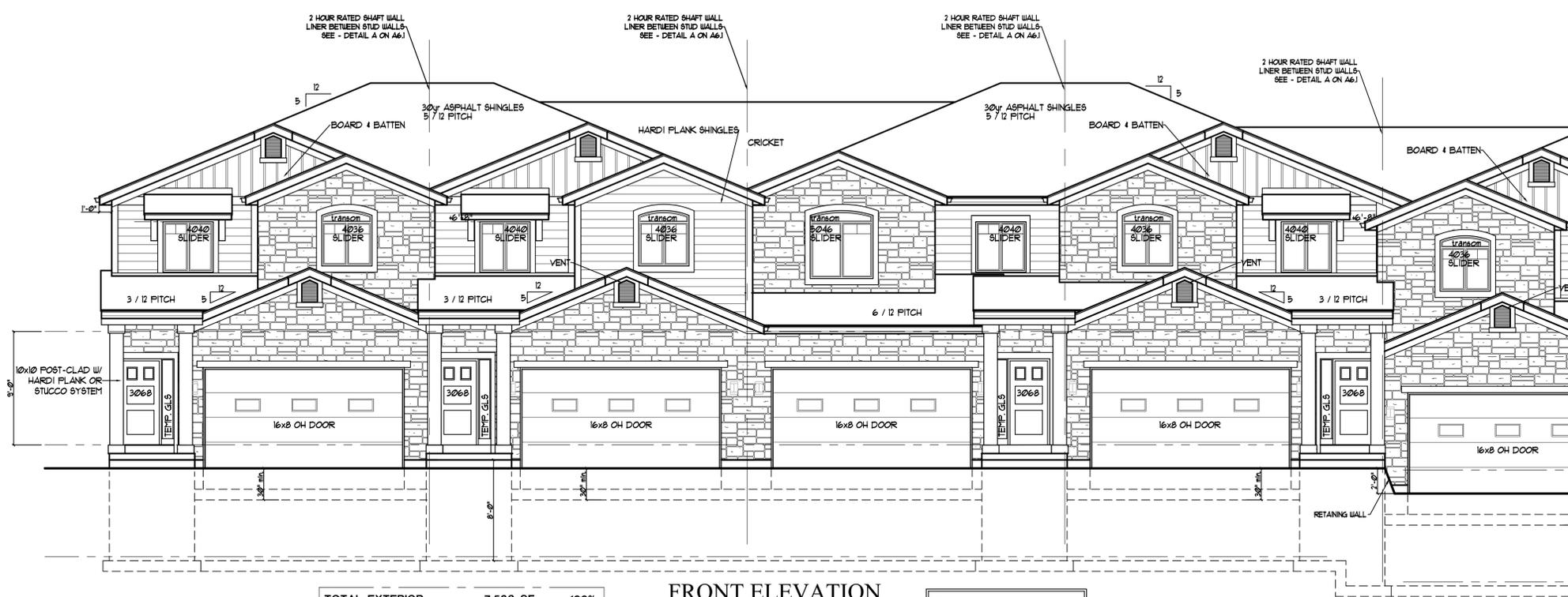
SITE PLAN

PROJECT NUMBER: 8260M
DRAWN BY: C. CHILD
PROJECT MANAGER: C. CHILD

PRINT DATE: 8/25/23
CHECKED BY: J. CLEGG

C-100

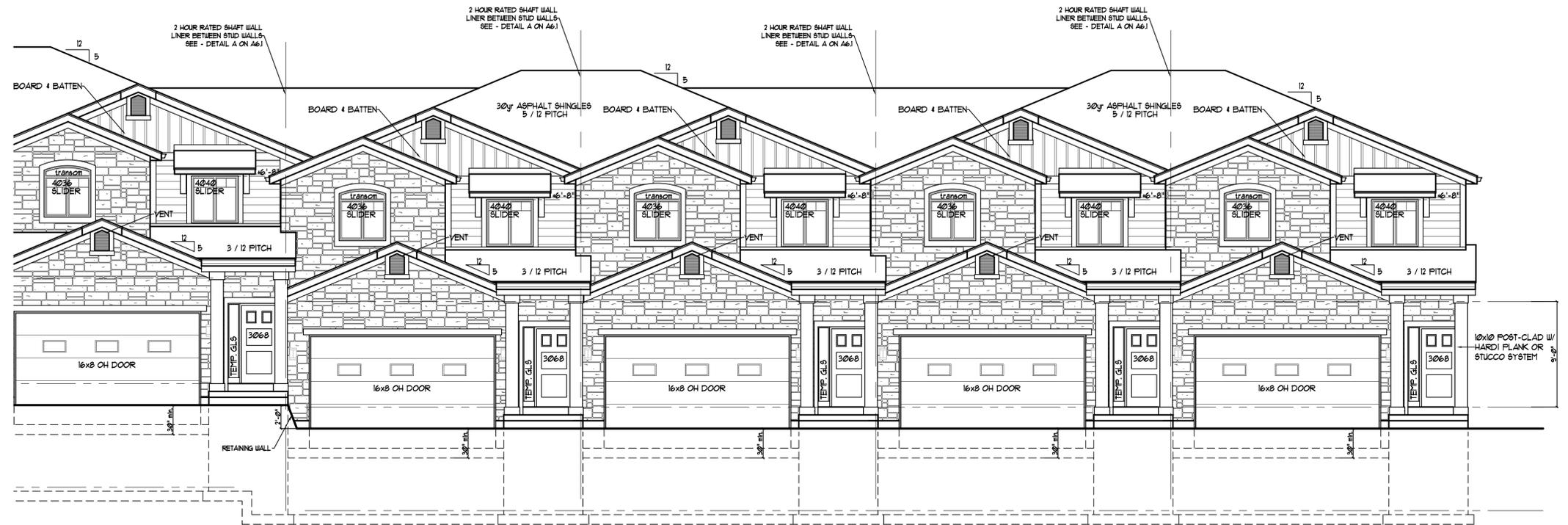




TOTAL EXTERIOR STONE	7,583 SF	100%
FRONT FACADE	4,469 SF	58.9%
FRONT EXTERIOR	3,011 SF	100%
FRONT STONE	2,027 SF	67.3%

FRONT ELEVATION
scale - 3/16"=1'-0"

NOTE:
- 8703.7: A MOISTURE BARRIER AND WEEP SCREED SHALL BE PROVIDED FOR ALL STUCCO SYSTEMS.
- TABLE 905.1.1(2): ON ROOF WITH SLOPES OF 2/12, UP TO 4/12, UNDERLAYMENT SHALL BE (2) LAYERS.

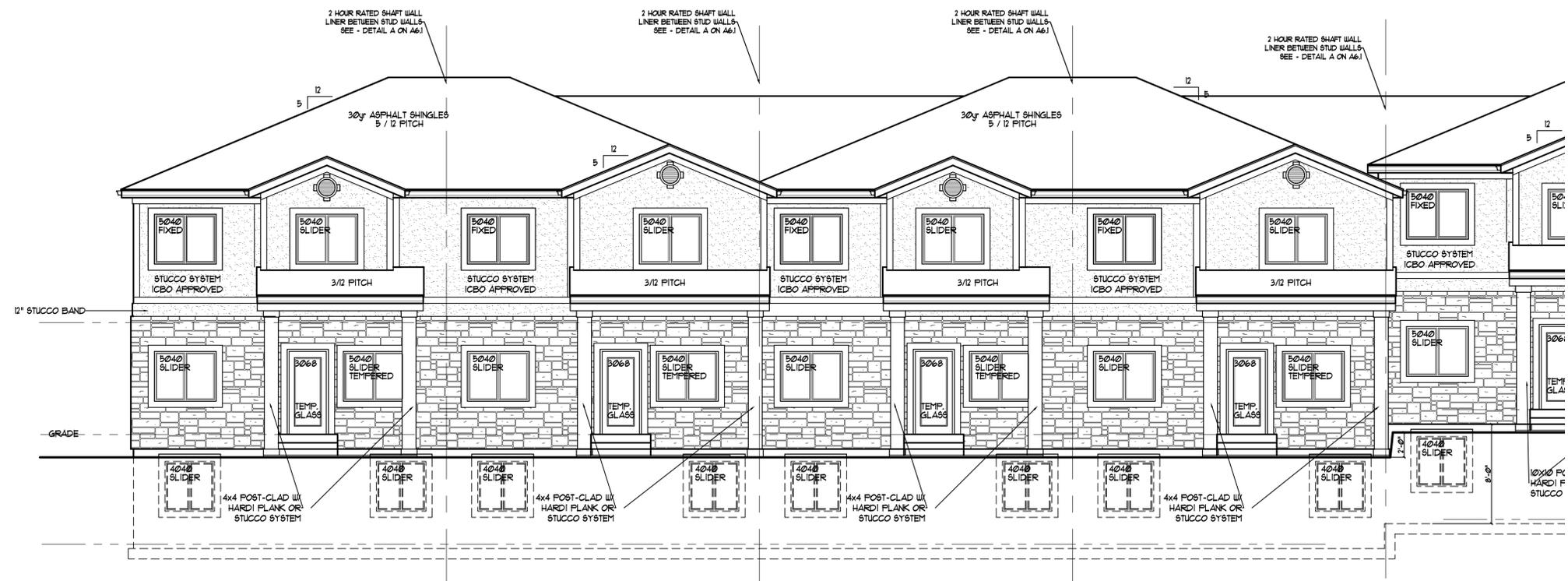


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- TABLE 905.1.1(2): ON ROOF WITH SLOPES OF 2/12, UP TO 4/12, UNDERLAYMENT SHALL BE (2) LAYERS.

THESE DRAWINGS OR ANY PARTS THEREOF, AS INSTRUMENTS OF SERVICE, REMAIN THE PROPERTY OF THE ARCHITECTS AND MAY NOT BE REPRODUCED OR USED ON OTHER WORK WITHOUT THEIR WRITTEN CONSENT.
PLOT DATE: 11/15/2024 O:\ACAD\Files\Building Dynamics\TOOELE\FRONT LOAD 8 PLEX - Lot 108\IRVING_BUTE_A4-04-ELEV.dwg

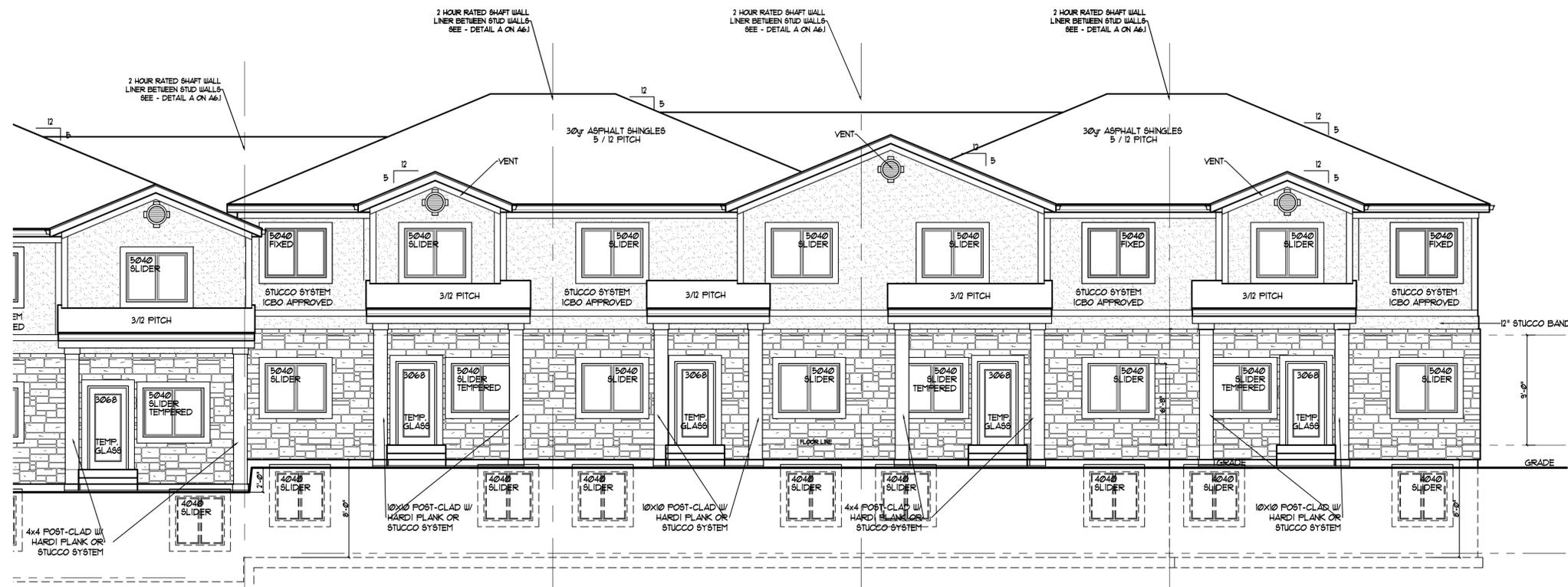


TOTAL EXTERIOR STONE	7,583 SF	100%
REAR FACADE	4,469 SF	58.9%
REAR EXTERIOR	3,670 SF	100%
REAR STONE	1,949 SF	53.1%

REAR ELEVATION

scale - 3/16"=1'-0"

NOTE:
 - 8703.7: A MOISTURE BARRIER AND WEEP SCREED SHALL BE PROVIDED FOR ALL STUCCO SYSTEMS.
 - TABLE 905.1.1(2): ON ROOF WITH SLOPES OF 2/12 UP TO 4/12, UNDERLAYMENT SHALL BE (2) LAYERS.



TOTAL EXTERIOR STONE	7,583 SF	100%
REAR FACADE	4,469 SF	58.9%
REAR EXTERIOR	3,670 SF	100%
REAR STONE	1,949 SF	53.1%

REAR ELEVATION

scale - 3/16"=1'-0"

NOTE:
 - 8703.7: A MOISTURE BARRIER AND WEEP SCREED SHALL BE PROVIDED FOR ALL STUCCO SYSTEMS.
 - TABLE 905.1.1(2): ON ROOF WITH SLOPES OF 2/12 UP TO 4/12, UNDERLAYMENT SHALL BE (2) LAYERS.

THESE DRAWINGS OR ANY PARTS THEREOF, AS INSTRUMENTS OF SERVICE, REMAIN THE PROPERTY OF THE ARCHITECTS AND MAY NOT BE REPRODUCED OR USED ON OTHER WORK WITHOUT THEIR WRITTEN CONSENT. PLOT DATE: 11/20/2024 C:\ACAD\file\Building Dynamics\TOOELEFRONT LOAD 8 PLEX - Lot 108\IRVING_30UTE_A404-ELEV.dwg



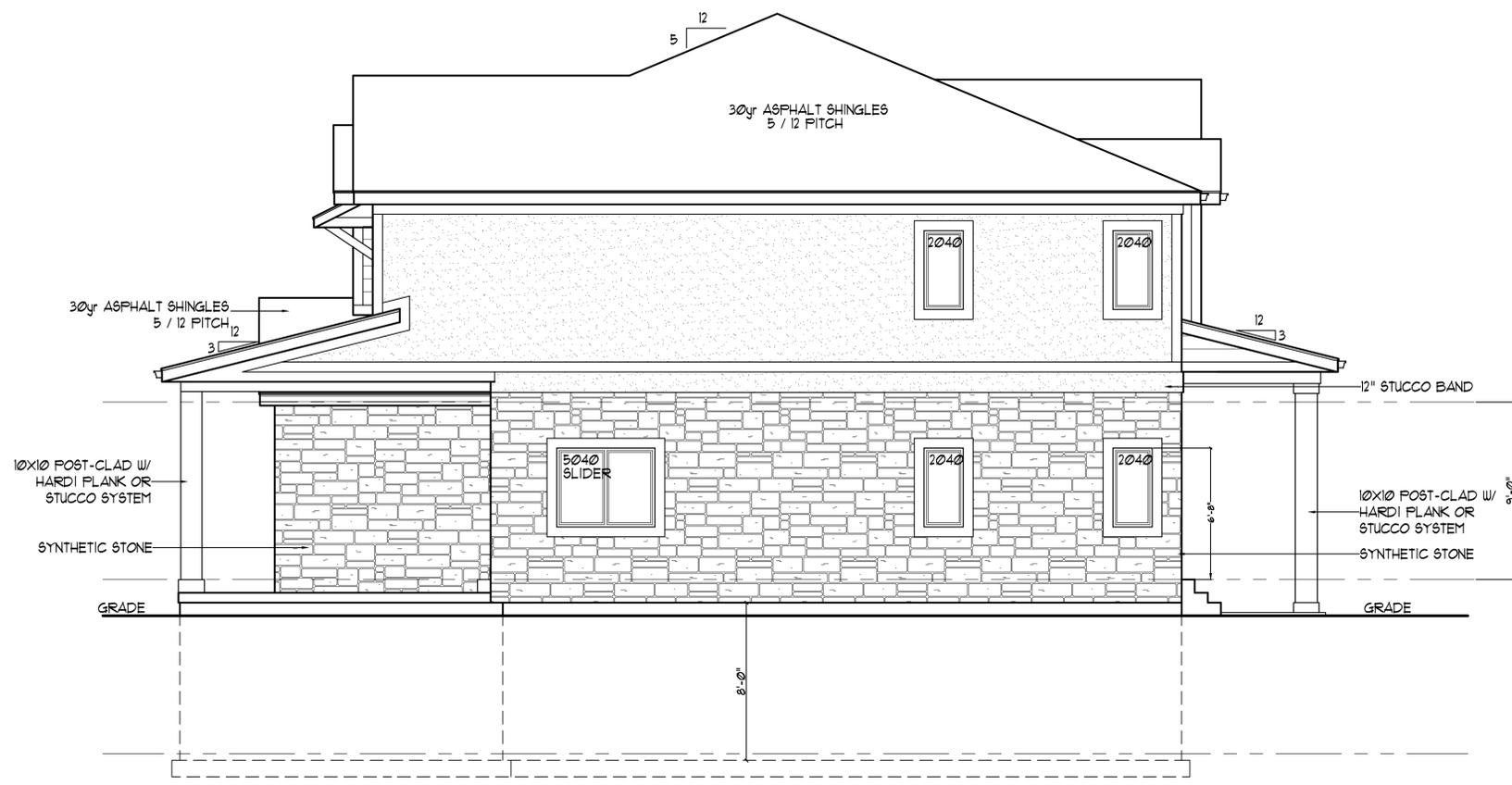
OVERALL FRONT ELEVATION
scale - 1/8"=1'-0"



TOTAL EXTERIOR 7,583 SF 100%
STONE 4,469 SF 58.9%

OVERALL REAR ELEVATION
scale - 1/8"=1'-0"

THESE DRAWINGS OR ANY PARTS THEREOF, AS INSTRUMENTS OF SERVICE, REMAIN THE PROPERTY OF THE ARCHITECTS AND MAY NOT BE REPRODUCED OR USED ON OTHER WORK WITHOUT THEIR WRITTEN CONSENT.
PLOT DATE: 11/15/2024 O:\ACAD\Files\Building Dynamics\TOOELEFRONT_LOAD_8_PLEX - Lot 106\IRVING_3016_A-04-ELEV.dwg



SIDE ELEVATION FACADE
681 SQFT TOTAL
419 SQFT STONE

NOTE:
- 9103.7: A MOISTURE BARRIER AND WEEP SCREED SHALL BE PROVIDED FOR ALL STUCCO SYSTEMS.
- TABLE 905.1.1(2): ON ROOF WITH SLOPES OF 2/12, UP TO 4/12, UNDERLAYMENT SHALL BE (2) LAYERS.

TOTAL EXTERIOR STONE	7,583 SF	100%
STONE	4,469 SF	58.9%
SIDE FACADE		
SIDE EXTERIOR	902 SF	100%
SIDE STONE	493 SF	54.7%

TYP. SIDE ELEVATION

scale - 1/4"=1'-0"

THESE DRAWINGS OR ANY PARTS THEREOF, AS INSTRUMENTS OF SERVICE, REMAIN THE PROPERTY OF THE ARCHITECTS AND MAY NOT BE REPRODUCED OR USED ON OTHER WORK WITHOUT THEIR WRITTEN CONSENT. PLOT DATE: 11/15/2024 O:\ACAD\Files\Building Dynamics\TOOELEFRONT LOAD 8 PLEX - Lot 106\IRVING_9UTE_A04-ELEV.dwg

STAFF REPORT

July 2, 2025

To: Tooele City Planning Commission
Business Date: July 9, 2025

From: Planning Division
Community Development Department

Prepared By: Andrew Aagard, City Planner / Zoning Administrator

Re: Western Acres Phase 3A – Preliminary Subdivision Plan Request

Application No.: 2025009
Applicant: David Lewis IV, representing DR Horton
Project Location: Approximately 1600 North Copper Canyon Drive
Zoning: MR-16 PUD Multi-Family Residential Zone
Acreage: 14.8 Acres (Approximately 647,737 ft²)
Request: Request for approval of a Preliminary Subdivision Plan in the MR-16 PUD Multi-Family Residential zone regarding the creation of town house style multi-family residential lots, single-family residential lots, common areas, limited common areas and roads.

BACKGROUND

This application is a request for approval of a Preliminary Subdivision Plan for approximately 14.8 acres located at approximately 1600 North Copper Canyon Drive. The property is currently zoned MR-16 PUD Multi-Family Residential. The applicant is requesting that a Preliminary Subdivision Plan be approved to allow for the development of the currently vacant site as town homes and single-family homes.

ANALYSIS

General Plan and Zoning. The Land Use Map of the General Plan calls for the High Density Residential land use designation for the subject property. The property has been assigned the MR-16 PUD Multi-Family Residential zoning classification, supporting approximately sixteen dwelling units per acre. The MR-16 PUD Multi-Family Residential zoning designation is identified by the General Plan as a preferred zoning classification for the High Density Residential land use designation. All properties surrounding Phase 3A are zoned MR-16 Multi-Family Residential. Mapping pertinent to the subject request can be found in Exhibit “A” to this report.

Western Acres PUD. The Western Acres PUD was approved early in 2021 and consists of 86.7 acres and will ultimately include 714 townhomes and 97 single-family homes. The PUD was approved permitting variations from the standard MR-16 zoning ordinance requirements for building setbacks, architectural standards and landscaping criteria. Although zoned MR-16 which permits up to 16 units per acre the actual build out density for Western Acres will be around 9.2 units per acre.

Western Acres has been under continuous construction since approval of the original PUD. Phases 1, 2A, 2B and 2C were approved under previous preliminary subdivision plans and are nearing completion. DR Horton, the builder of Western Acres is now ready to continue moving the development to the south and construct 141 new townhomes and single-family homes as well as the roads that will service the new homes.

Site Plan Layout. This is not a site plan design review application. Site plan design review questions such as landscaping, building architecture, amenities, and so forth should be reserved until the site plan design review is brought to the Planning Commission. The Preliminary Subdivision Plan is focused primarily on lot layout, road layout and lot creation.

Single-Family Lots. Phase 3A proposes the creation of 32 single-family lots as originally approved under the 2021 PUD. These 32 lots will be immediately adjacent to single-family lots in the Canyon Village Subdivision. The majority of these single-family lots will access the proposed Old Loon Drive, except lot 101, which will access Copper Canyon Drive and lots 129 – 132 which will access 1520 North. Old Loon Drive and 1520 North will be private roads, owned and maintained by the Western Acres Development HOA. Copper Canyon Drive will be a public road, ultimately owned and maintained by Tooele City.

Each single-family lot in this section of Phase 3A has been reviewed against the lot size and lot width criteria established by the Western Acres PUD zoning code and staff has confirmed that the layout matches the original intent of the PUD and that each lot meets or exceeds the minimum standards for lot size and lot width as required by the PUD ordinance. Lot sizes will range from 4,200 square feet up to 10,365 square feet.

Other than the roads the lots in this portion of Phase 3A will be landscaped and maintained by the owner of the lot. The HOA may have some control over the landscaping of these lots but the City is not and will not be involved in the enforcement of these HOA standards.

Multi-Family Lots. Phase 3A proposes the creation of 109 lots which will facilitate the creation of privately owned town house lots that reflect the exact foot print of the townhomes that will occupy the lot. The Preliminary plan shows three types of areas that will be created once the final plat is recorded. The foot print of the townhomes will be privately owned and maintained space and is indicated on the plan by a honey comb hatch pattern. The areas immediately surrounding the townhomes is indicated on the plans by a cross-hatch diamond pattern. These areas are designated as limited common areas and even though they are owned by the development HOA they will be limited in use to the occupant of the townhomes. The remaining areas designated in white are common areas. Common areas include open space, private roads and the Middle Canyon drainage. These areas will be open to all and will be owned and maintained by the development HOA.

All townhomes within Phase 3A will access internal private roads. Some of the townhomes will back onto the existing Middle Canyon drainage which is still under the ownership of the development. However, it is intended that eventually the Middle Canyon drainage and trail system will be dedicated to Tooele City. When that happens, what is currently an easement boundary will become a property line. Recently, Tooele City amended the rear yard and side yard setbacks for the townhomes in preparation for when the easement line becomes a property line. All townhome lots comply and will comply with the building separation and setback requirements of the Western Acres PUD, the multi-family residential design guidelines as found in TCC 7-11a, and the MR-16 zoning ordinance. The MR-16 PUD zone does not have lot size minimum requirements in order to facilitate individual town house ownership so lot size minimum is not an issue.

Deviations From Original PUD. It was discovered during the review process that some buildings are not located where they are shown in the original PUD. The reasons for the deviations are:

1. Building 120-125 had to be removed in order to accommodate additional storm water detention facilities.
2. Building 1215-1220 had to be removed due to Black Gold road shifting to accommodate additional storm water detention. The shifted road then put the building into conflict with the proposed amenity center.

Road Dedication. 1520 North, Old Loon Avenue and Black Gold Avenue will be private roads owned and maintained by Western Acres. Copper Canyon Drive is proposed to be a public street, however, Phase 3A does not include any dedication of right-of-way associated with Copper Canyon Drive. Additional stretches of Copper Canyon Drive will be dedicated and constructed with future phases of the development. In short, there is not any significant road dedication associated with Phase 3A.

Criteria For Approval. The procedure for approval or denial of a Subdivision Preliminary Plat request, as well as the information required to be submitted for review as a complete application is found in Sections 7-19-8 and 9 of the Tooele City Code.

REVIEWS

Planning Division Review. The Tooele City Planning Division has completed their review of the Preliminary Subdivision Plan submission and has issued a recommendation for approval for the request with the following comments:

1. Phase 3A as proposed closely complies with the original subdivision design as proposed by the original PUD approval with slight deviations occurring due to the need for additional storm water detention capacity.
2. All single-family residential lots comply with the minimum lot size requirements as required in the Western Acres PUD ordinance.
3. All multi-family lots comply with the building separation and building setback requirements as found in the Western Acres PUD ordinance, Tooele City Code 7-11a and the MR-16 zoning ordinance.

Engineering & Public Works Division Review. The Tooele City Engineering and Public Works Divisions have completed their reviews of the Preliminary Subdivision Plan submission and have issued a recommendation for approval for the request with the following proposed conditions:

1. All single-family lots should have a 10 foot front yard PU&DE as well as a 10' rear PU&DE. Double fronting lots shall allow for the placement of 3rd party utilities.
2. All single-family lots should have a 5 foot side yard PU&DE which can be placed every other lot.
3. Common areas should be designated as a PU&DE, where appropriate.
4. If built in phases, temporary paved cul-de-sac shall be installed per City code on any dead end roads.
5. Cul-de-sacs required by city code which lie outside of the platted limits of Phase 3A shall require separate easement creation for recordation with the office of the Tooele County Recorder.

Tooele City Fire Department Review. The Tooele City Fire Department has completed their review of the Preliminary Subdivision Plan submission and has issued a recommendation for approval for the request.

Tooele City Economic Development Division. The Tooele City Division of Economic Development did not have any comments regarding this proposed Preliminary Subdivision Plan.

Noticing. Preliminary Subdivision Plans are an administrative action of the Planning Commission and do not require a public hearing. As such, noticing was not required for this item.

STAFF RECOMMENDATION

Staff recommends approval of the request for a Preliminary Subdivision Plan by David Lewis IV, representing DR Horton, application number 2025009, subject to the following conditions:

1. That all requirements of the Tooele City Engineering and Public Works Divisions shall be satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
2. That all requirements of the Tooele City Building Division shall be satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
3. That all requirements of the Tooele City Fire Department shall be satisfied throughout the development of the site and the construction of all buildings on the site.
4. That all requirements of the geotechnical report shall be satisfied throughout the development of the site and the construction of all buildings on the site.
5. All single-family lots should have a 10 foot front yard PU&DE as well as a 10' rear PU&DE. Double fronting lots shall allow for the placement of 3rd party utilities.
6. All single-family lots should have a 5 foot side yard PU&DE which can be placed every other lot.
7. Common areas should be designated as a PU&DE, where appropriate.
8. If built in phases, temporary paved cul-de-sac shall be installed per City code on any dead end roads.
9. Cul-de-sacs required by city code which lie outside of the platted limits of Phase 3A shall require separate easement creation for recordation with the office of the Tooele County Recorder.

This recommendation is based on the following findings:

1. The proposed development plans meet the intent, goals, and objectives of the Tooele City General Plan.
2. The proposed development plans meet the requirements and provisions of the Tooele City Code.
3. The proposed development plans will not be deleterious to the health, safety, and general welfare of the general public nor the residents of adjacent properties.
4. The proposed development conforms to the general aesthetic and physical development of the area.
5. The public services in the area are adequate to support the subject development.
6. The Western Acres Phase 3A Preliminary Subdivision Plan meets the minimum qualifications and requirements for development in the MR-16 PUD zoning district concerning lot size, lot location, building setbacks (for townhome lots).

MODEL MOTIONS

Sample Motion for Approval – “I move we approve the Preliminary Subdivision Plan Request by David Lewis IV, representing DR Horton for Western Acres Phase 3A, application number 2025009, based on the findings and subject to the conditions listed in the Staff Report dated July 2, 2025:”

1. List any additional findings and conditions...

Sample Motion for Denial – “I move we deny the Preliminary Subdivision Plan Request by David Lewis IV, representing DR Horton for Western Acres Phase 3A, application number 2025009, based on the following findings:”

1. List findings...

EXHIBIT A

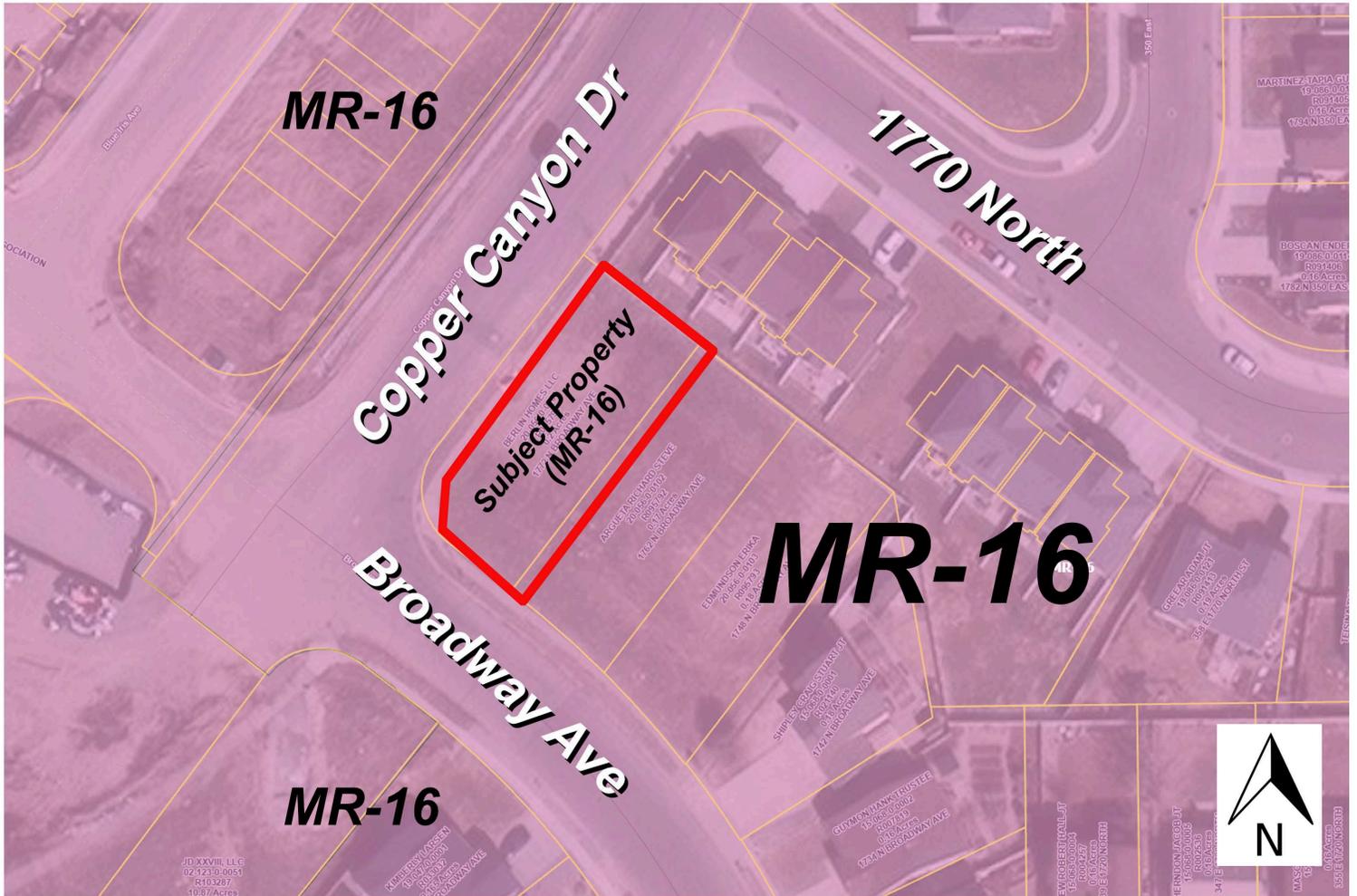
**MAPPING PERTINENT TO THE WESTERN ACRES PHASE 3A PRELIMINARY
SUBDIVISION PLAN**

Edenbrooke Townhomes Site Plan Design Review



Aerial View

Edenbrooke Townhomes Site Plan Design Review

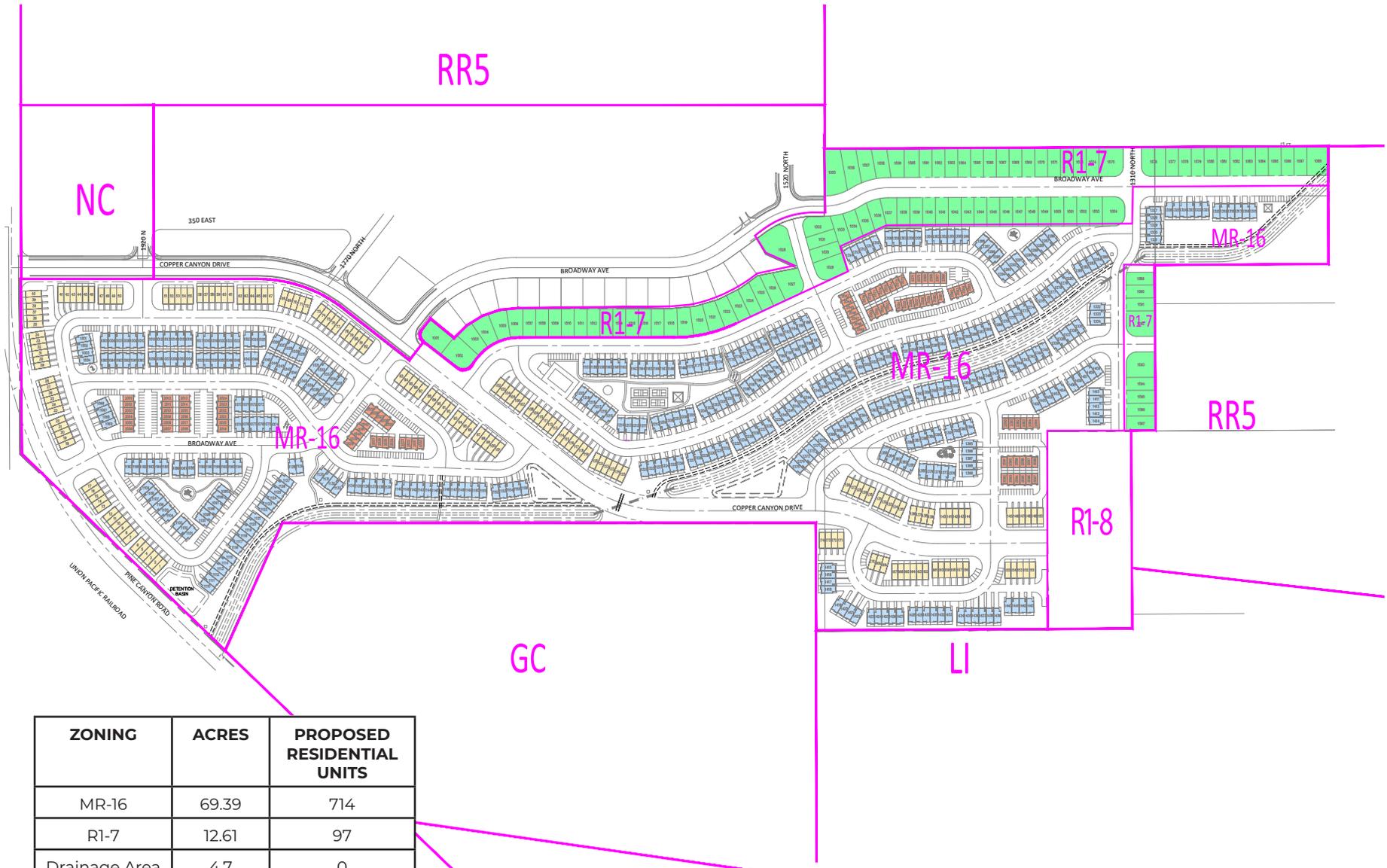


Current Zoning

EXHIBIT B

**PROPOSED DEVELOPMENT PLANS &
APPLICANT SUBMITTED INFORMATION**

PROPOSED ZONING



ZONING	ACRES	PROPOSED RESIDENTIAL UNITS
MR-16	69.39	714
R1-7	12.61	97
Drainage Area	4.7	0
TOTALS	86.7	811

WESTERN ACRES TOWNHOMES PHASE 3 PRELIMINARY PLAT

A RESIDENTIAL SUBDIVISION

LOCATED IN THE WEST HALF OF SECTION 15, TOWNSHIP 3 SOUTH, RANGE 4 WEST, SALT LAKE BASE AND MERIDIAN
TOOELE CITY, TOOELE COUNTY, UTAH
SHEET 1 OF 4

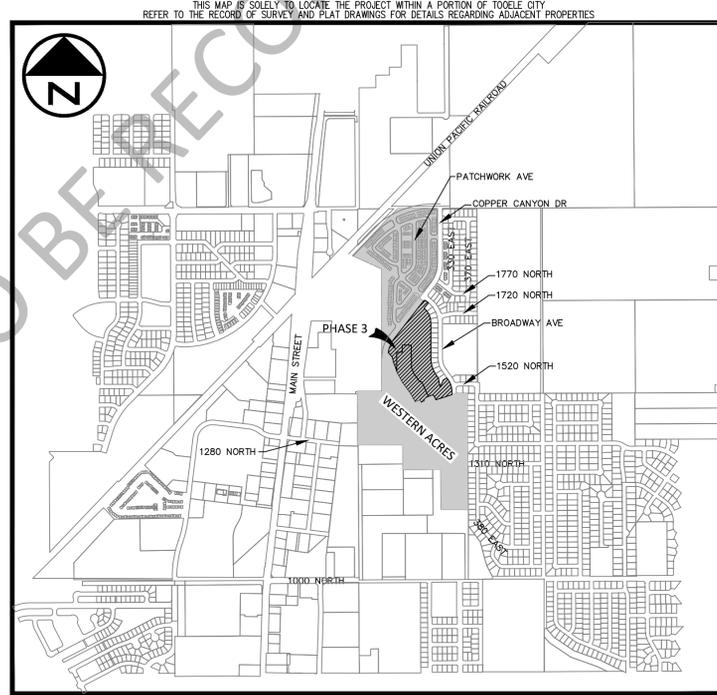
PLAT NOTES

- GUEST PARKING REQUIREMENT CALCULATED AS 109 UNITS/4= 27 PARKING SPACES REQUIRED. PARKING SPACES IN PHASE 3= 18. ADJACENT PHASES CONTAIN SURPLUS PARKING TO ACCOMMODATE THE DIFFERENCE IN PARKING TOTAL.
- ALL BEARINGS OUTSIDE OF THE PLATTED BOUNDARY ARE TO BE VERIFIED BY REFERENCING THE VARIOUS DOCUMENTS WHICH ESTABLISHED THESE LINES. THEY ARE PROVIDED ON THIS PLAT FOR CONVENIENCE ONLY.
- ALL PRIVATE RIGHT OF WAYS, COMMON AREAS, AND LIMITED COMMON AREAS ARE ALSO DEDICATED AS PUBLIC UTILITY AND DRAINAGE EASEMENTS.
- A GEOTECHNICAL REPORT HAS BEEN PERFORMED ON THE SITE BY OTHERS, DATED NOVEMBER 1, 2019.
- THE LIMITED COMMON AREA IN FRONT OF UNITS 1296-1297 AND 1312-1313 IS FOR THE BENEFITED USE OF SAID UNITS FOR DRIVE ACCESS. NO PARKING IS ALLOWED AT ANYTIME WITHIN THIS SHARED DRIVEWAY ACCESS AREA.
- NORTHINGS AND EASTINGS SHOWN ON THIS PLAT ARE PROJECTED IN NAD83 GRID, UTAH CENTRAL STATE PLANE ZONE, U.S. SURVEY FEET.
- THE PUBLIC UTILITY EASEMENT DEEDED TO TOOELE CITY AS ENTRY 222085 IN BOOK 0939 AT PAGE 0244-0245 ARE VACATED WITH THE RECORDATION OF THE FINAL PLAT.

PLAT AREA TABULATIONS

ITEM	QTY	AREA (AC)
TOWNHOME UNITS	109	3.534
SINGLE FAMILY LOTS	32	3.575
COMMON AREAS	13	3.300
ROADWAYS	N/A	3.611
PARCELS	0	0.000

VICINITY MAP



SURVEYOR'S CERTIFICATE

I, KAGAN M. DIXON, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, HOLDING LICENSE NO. 9001091 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS SUBDIVISION PLAT IN ACCORDANCE WITH SECTIONS 17-23-17, HAVE VERIFIED ALL MEASUREMENTS, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND STREETS, TOGETHER WITH EASEMENTS, HEREAFTER TO BE KNOWN AS WESTERN ACRES TOWNHOMES PHASE 3 AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND MONUMENTED ON THE GROUND AS SHOWN ON THIS PLAT.

7/1/25

DATE

BOUNDARY DESCRIPTION

A PARCEL OF LAND LOCATED IN THE WEST HALF OF SECTION 15, TOWNSHIP 3 SOUTH, RANGE 4 WEST, SALT LAKE BASE AND MERIDIAN, SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT WHICH IS NORTH 89°53'05" EAST 647.25 FEET AND NORTH 156.17 FEET FROM THE WEST QUARTER CORNER OF SECTION 15, TOWNSHIP 3 SOUTH, RANGE 4 WEST, SALT LAKE BASE & MERIDIAN AND RUNNING THENCE NORTH 28°28'28" WEST 144.00 FEET; THENCE NORTH 26°07'29" WEST 33.20 FEET; THENCE NORTH 14°42'11" WEST 40.87 FEET; THENCE NORTH 21°41'39" WEST 95.32 FEET; THENCE NORTH 12°48'24" WEST 78.63 FEET; THENCE NORTH 41°03'31" WEST 90.40 FEET; THENCE NORTHEASTERLY 224.50 FEET ALONG THE ARC OF A 458.00 FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT (CHORD BEARS NORTH 23°57'01" EAST 222.26 FEET) TO A POINT ON THE PROLONGATION OF THE BOUNDARY OF WESTERN ACRES TOWNHOMES PHASE 2C, ON FILE WITH THE TOOELE COUNTY RECORDER AS ENTRY 433428; THENCE ALONG SAID BOUNDARY THE FOLLOWING SIX (6) COURSES: 1) SOUTH 39°26'05" WEST 100.00 FEET; 2) SOUTH 44°06'59" EAST 59.89 FEET; 3) SOUTH 31°13'00" EAST 59.99 FEET; 4) SOUTH 18°19'00" EAST 59.99 FEET; 5) SOUTH 05°28'31" EAST 60.18 FEET; 6) SOUTH 496.84 FEET; THENCE ALONG THE BOUNDARY OF CANYON VILLAGE SUBDIVISION PHASE 4, ON FILE WITH THE TOOELE COUNTY RECORDER AS ENTRY 433428; THENCE ALONG SAID BOUNDARY THE FOLLOWING SIX (6) COURSES: 1) SOUTH 39°26'05" WEST 100.00 FEET; 2) SOUTH 44°06'59" EAST 59.89 FEET; 3) SOUTH 31°13'00" EAST 59.99 FEET; 4) SOUTH 18°19'00" EAST 59.99 FEET; 5) SOUTH 05°28'31" EAST 60.18 FEET; 6) SOUTH 496.84 FEET; THENCE ALONG THE BOUNDARY OF CANYON VILLAGE SUBDIVISION PHASE 3, ON FILE WITH THE TOOELE COUNTY RECORDER AS ENTRY 396237 THE FOLLOWING SEVEN (7) COURSES: 1) SOUTH 04°35'20" EAST 80.11 FEET; 2) SOUTH 15°54'31" EAST 80.28 FEET; 3) SOUTH 26°31'08" EAST 80.23 FEET; 4) SOUTH 35°42'53" EAST 73.47 FEET; 5) SOUTH 10°46'00" EAST 129.32 FEET; 6) NORTH 24°25'00" EAST 111.67 FEET; 7) NORTH 60°00'00" EAST 58.00 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF BROADWAY AVENUE; THENCE ALONG SAID RIGHT-OF-WAY LINE THE FOLLOWING FOUR (4) COURSES: 1) SOUTH 35°42'58" EAST 39.00 FEET; 2) SOUTHEASTERLY 165.90 FEET ALONG THE ARC OF A 267.00 FOOT RADIUS TANGENT CURVE TO THE RIGHT (CHORD BEARS SOUTH 17°54'56" EAST 163.24 FEET); THENCE SOUTH 33°57'01" EAST 111.67 FEET ALONG THE ARC OF A 233.00 FOOT RADIUS TANGENT CURVE TO THE LEFT (CHORD BEARS SOUTH 02°29'20" EAST 19.31 FEET); THENCE SOUTH 72°31'07" WEST 240.28 FEET; THENCE NORTH 25°09'30" WEST 54.27 FEET; THENCE NORTHWESTERLY 53.41 FEET ALONG THE ARC OF A 34.00 FOOT RADIUS TANGENT CURVE TO THE LEFT (CHORD BEARS NORTH 70°09'30" WEST 48.08 FEET); THENCE SOUTH 64°50'30" WEST 86.64 FEET; THENCE SOUTHWESTERLY 51.64 FEET ALONG THE ARC OF A 34.00 FOOT RADIUS TANGENT CURVE TO THE LEFT (CHORD BEARS SOUTH 21°19'57" WEST 46.82 FEET); THENCE SOUTH 67°49'23" WEST 51.00 FEET; THENCE NORTHWESTERLY 37.49 FEET ALONG THE ARC OF A 974.50 FOOT RADIUS NON-TANGENT CURVE TO THE LEFT (CHORD BEARS NORTH 23°16'45" WEST 33.48 FEET); THENCE SOUTH 69°51'21" WEST 75.64 FEET; THENCE NORTH 20°08'39" WEST 5.16 FEET; THENCE NORTH 29°59'10" WEST 134.72 FEET; THENCE NORTH 36°17'21" WEST 169.16 FEET; THENCE NORTH 38°53'20" WEST 18.35 FEET TO THE POINT OF BEGINNING.

CONTAINING 14,807 ACRES, MORE OR LESS.

141 UNITS

OWNERS' DEDICATION

KNOW BY ALL MEN THESE PRESENTS THAT WE, THE UNDERSIGNED OWNERS OF THE ABOVE DESCRIBED TRACT OF LAND HAVING CAUSED SAME TO BE SUBDIVIDED INTO PARCELS AND STREETS TO BE HEREAFTER KNOWN AS "WESTERN ACRES TOWNHOMES PHASE 3" DO HEREBY DEDICATE FOR PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE.

PURSUANT TO UTAH CODE 10-9A-604(D), THE OWNER HEREBY CONVEYS THE COMMON AREAS, AS INDICATED HEREON, TO THE WESTERN ACRES OWNERS' ASSOCIATION, WITH A REGISTERED ADDRESS OF 12351 SOUTH GATEWAY PARK PLACE D-100, DRAPER, UTAH 84042.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HAND THIS _____ A.D., 20__

AUTHORIZED SIGNATURE

JD XXVII, LLC
BY: JD XXVII, LLC
ITS: MANAGER
PRINTED NAME: _____
TITLE: _____

AUTHORIZED SIGNATURE

JD WESTERN ACRES HOLDING LLC
BY: WESTERN ACRES HOLDING LLC
ITS: MANAGER
PRINTED NAME: _____
TITLE: _____

TOOELE COUNTY SURVEY DEPARTMENT

APPROVED THIS _____ DAY OF _____ A.D. 20__ BY THE TOOELE COUNTY SURVEY DEPARTMENT.

TOOELE COUNTY SURVEY DEPARTMENT

TOOELE COUNTY RECORDER

REVIEWED THIS _____ DAY OF _____ A.D. 20__ BY THE TOOELE COUNTY RECORDER AS TO DESCRIPTION OF RECORD.

TOOELE COUNTY RECORDER

PLANNING COMMISSION

APPROVED THIS _____ DAY OF _____ A.D. 20__ BY THE TOOELE CITY PLANNING COMMISSION.

ATTEST:

TOOELE CITY ATTORNEY

APPROVED AS TO FORM ON THIS _____ DAY OF _____ A.D. 20__

TOOELE CITY ATTORNEY

TOOELE COUNTY SCHOOL DISTRICT

APPROVED THIS _____ DAY OF _____ A.D. 20__ BY THE TOOELE COUNTY SCHOOL DISTRICT.

TOOELE COUNTY SCHOOL DISTRICT

TOOELE CITY ENGINEER

APPROVED AS TO FORM ON THIS _____ DAY OF _____ A.D. 20__

TOOELE CITY ENGINEER

HEALTH DEPARTMENT

APPROVED THIS _____ DAY OF _____ A.D. 20__ BY THE TOOELE COUNTY HEALTH DEPARTMENT.

TOOELE COUNTY HEALTH DEPARTMENT

COMMUNITY DEVELOPMENT

APPROVED AS TO FORM ON THIS _____ DAY OF _____ A.D. 20__

TOOELE CITY COMMUNITY DEVELOPMENT

U.S. POST MASTER

APPROVED THIS _____ DAY OF _____ A.D. 20__ BY THE POST MASTER.

U.S. POST MASTER

TOOELE COUNTY TREASURER

APPROVED THIS _____ DAY OF _____ A.D. 20__ BY THE TOOELE COUNTY TREASURER.

TOOELE COUNTY TREASURER

TOOELE CITY PUBLIC WORKS

APPROVED THIS _____ DAY OF _____ A.D. 20__ BY TOOELE CITY PUBLIC WORKS.

TOOELE CITY PUBLIC WORKS DIRECTOR

ENBRIDGE GAS

QUESTAR GAS COMPANY, dba ENBRIDGE GAS UTAH ("ENBRIDGE"), APPROVES THIS PLAT SOLELY TO CONFIRM THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. THIS APPROVAL DOES NOT (A) AFFECT ANY RIGHT ENBRIDGE HAS UNDER TITLE 54, CHAPTER 8A, A RECORDED EASEMENT OR RIGHT-OF-WAY, PRESCRIPTIVE RIGHTS, OR ANY PROVISION OF LAW. (B) CONSTITUTE ACCEPTANCE OF ANY TERMS CONTAINED IN ANY PORTION OF THE PLAT; AND (C) GUARANTEE ANY TERMS OR WAIVE ENBRIDGE'S RIGHT TO REQUIRE ADDITIONAL EASEMENTS FOR GAS SERVICE.

QUESTAR GAS COMPANY
dba ENBRIDGE GAS UTAH

APPROVED THIS _____ DAY OF _____ A.D. 20__

BY: _____ TITLE: _____

ROCKY MOUNTAIN POWER

1. PURSUANT TO UTAH CODE ANN. § 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL RIGHTS AND DUTIES DESCRIBED THEREIN.
2. PURSUANT TO UTAH CODE ANN. § 17-27a-603(4)(c)(ii) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE RUE AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENT, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER

- A RECORDED EASEMENT OR RIGHT OF WAY
- THE LAW APPLICATION TO PRESCRIPTIVE RIGHTS
- TITLE 54, CHAPTER 8a, DAMAGE TO UNDERGROUND UTILITY FACILITIES, OR
- ANY OTHER PROVISION OF LAW

APPROVED THIS _____ DAY OF _____ A.D. 20__

DOMINION ENERGY BY: _____ TITLE: _____

NO.	REVISION	DATE

OWNER/DEVELOPER D.R. HORTON

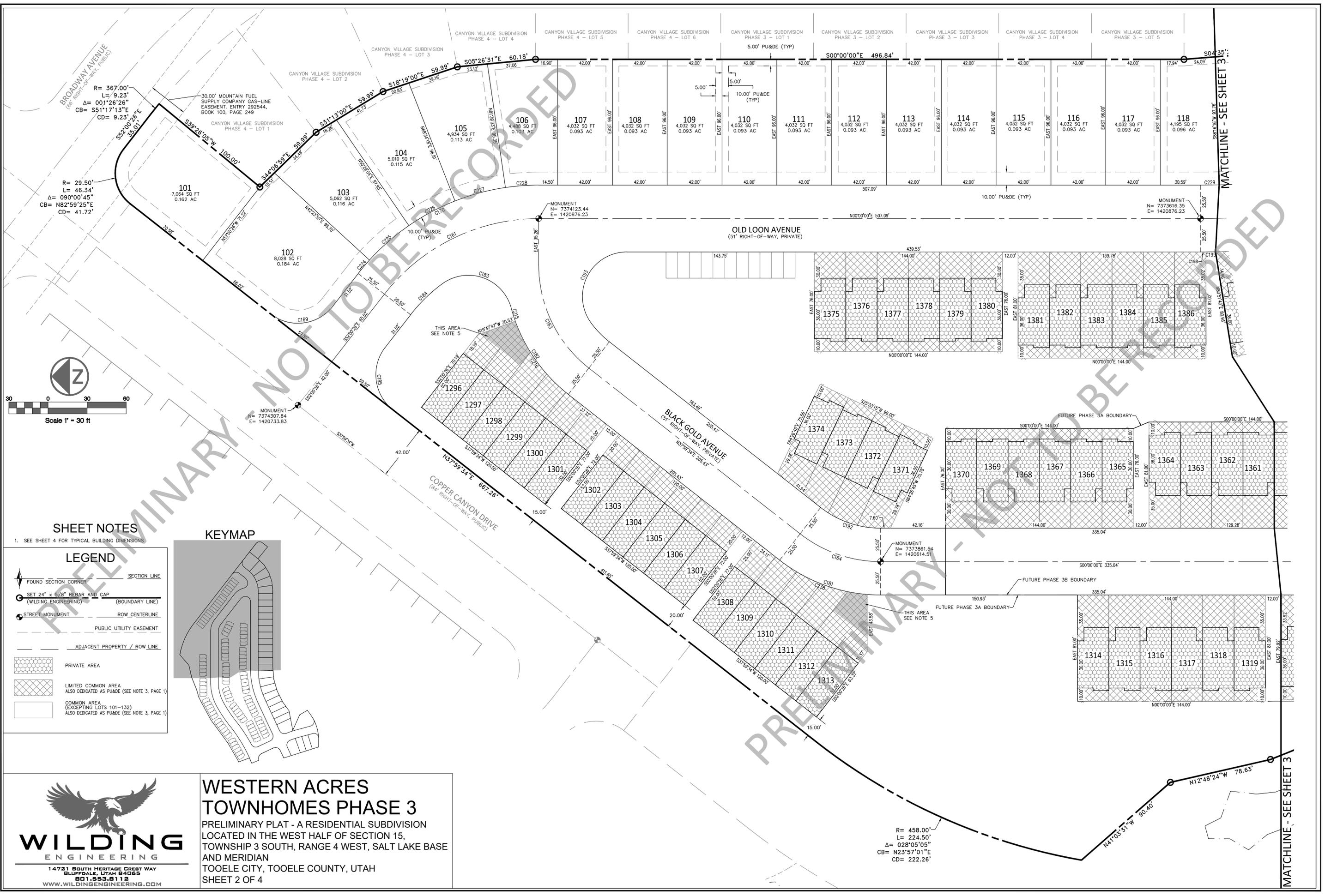
12351 SOUTH GATEWAY PARK PLACE SUITE D-100,
DRAPER, UTAH

CONTACT: DAVID LEWIS: 801-571-7101

14721 SOUTH HERITAGE CREST WAY
BLUFFDALE, UTAH 84065
801.553.8112
WWW.WILDINGENGINEERING.COM

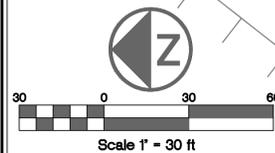
WESTERN ACRES TOWNHOMES PHASE 3 PRELIMINARY PLAT - A RESIDENTIAL SUBDIVISION LOCATED IN THE WEST HALF OF SECTION 15, TOWNSHIP 3 SOUTH, RANGE 4 WEST, SALT LAKE BASE AND MERIDIAN TOOELE CITY, TOOELE COUNTY, UTAH SHEET 1 OF 4

SURVEYOR'S SEAL	NOTARY PUBLIC SEAL	CITY ENGINEER SEAL	CLERK-RECORDER SEAL



$R = 367.00'$
 $L = 9.23'$
 $\Delta = 001^{\circ}26'26''$
 $CB = S51^{\circ}17'13''E$
 $CD = 9.23'$

$R = 29.50'$
 $L = 46.34'$
 $\Delta = 090^{\circ}00'45''$
 $CB = N82^{\circ}59'25''E$
 $CD = 41.72'$



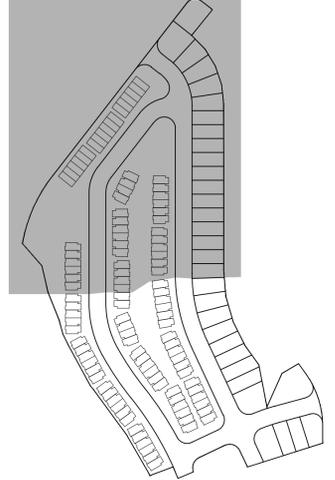
SHEET NOTES

1. SEE SHEET 4 FOR TYPICAL BUILDING DIMENSIONS

LEGEND

- FOUND SECTION CORNER
- SECTION LINE
- SET 24" x 5/8" REBAR AND CAP (WILDING ENGINEERING)
- (BOUNDARY LINE)
- STREET MONUMENT
- ROW CENTERLINE
- PUBLIC UTILITY EASEMENT
- ADJACENT PROPERTY / ROW LINE
- PRIVATE AREA
- LIMITED COMMON AREA (ALSO DEDICATED AS PU&DE (SEE NOTE 3, PAGE 1))
- COMMON AREA (EXCEPTING LOTS 101-132) (ALSO DEDICATED AS PU&DE (SEE NOTE 3, PAGE 1))

KEYMAP



WILDING
 ENGINEERING
 14721 SOUTH HERITAGE CREST WAY
 BLUFFDALE, UTAH 84065
 801.553.8112
 WWW.WILDINGENGINEERING.COM

WESTERN ACRES TOWNHOMES PHASE 3
 PRELIMINARY PLAT - A RESIDENTIAL SUBDIVISION
 LOCATED IN THE WEST HALF OF SECTION 15,
 TOWNSHIP 3 SOUTH, RANGE 4 WEST, SALT LAKE BASE
 AND MERIDIAN
 TOOELE CITY, TOOELE COUNTY, UTAH
 SHEET 2 OF 4

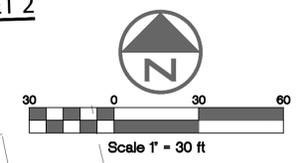
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 $L = 224.50'$
 $\Delta = 028^{\circ}05'05''$
 $CB = N23^{\circ}57'01''E$
 $CD = 222.26'$

MATCHLINE - SEE SHEET 3

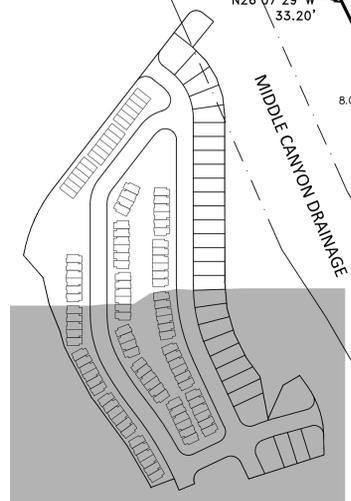
MATCHLINE - SEE SHEET 3

MATCHLINE
SEE SHEET 2

MATCHLINE - SEE SHEET 2



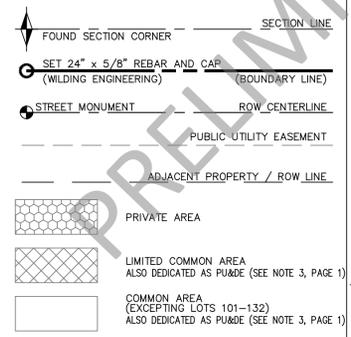
KEYMAP



SHEET NOTES

- 1. SEE SHEET 4 FOR TYPICAL BUILDING DIMENSIONS

LEGEND

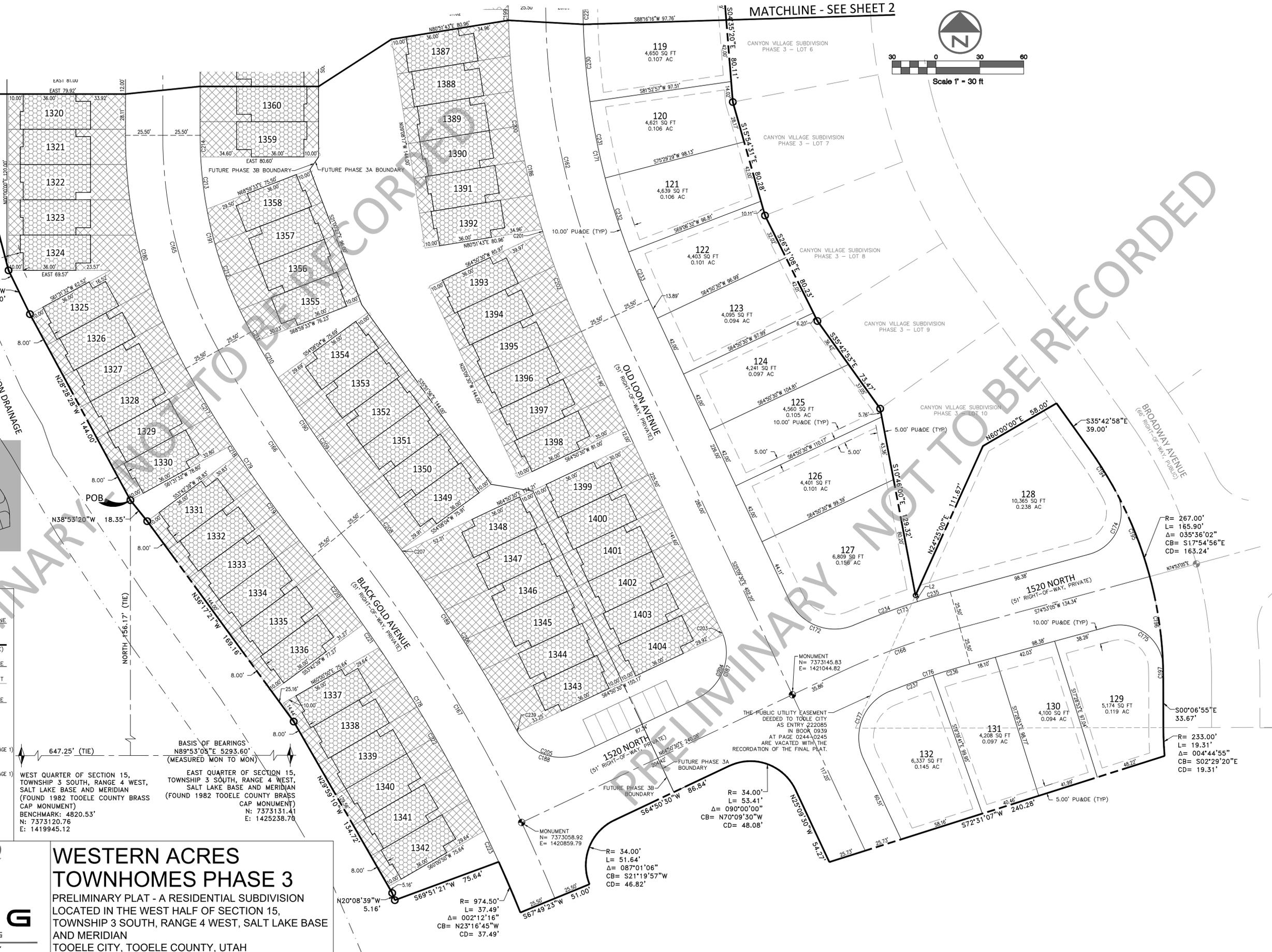


WEST QUARTER OF SECTION 15,
TOWNSHIP 3 SOUTH, RANGE 4 WEST,
SALT LAKE BASE AND MERIDIAN
(FOUND 1982 TOOELE COUNTY BRASS
CAP MONUMENT)
BENCHMARK: 4820.53'
N: 7373120.76
E: 1419945.12

EAST QUARTER OF SECTION 15,
TOWNSHIP 3 SOUTH, RANGE 4 WEST,
SALT LAKE BASE AND MERIDIAN
(FOUND 1982 TOOELE COUNTY BRASS
CAP MONUMENT)
N: 7373131.41
E: 1425238.70

BASIS OF BEARINGS
N89°53'08\"/>

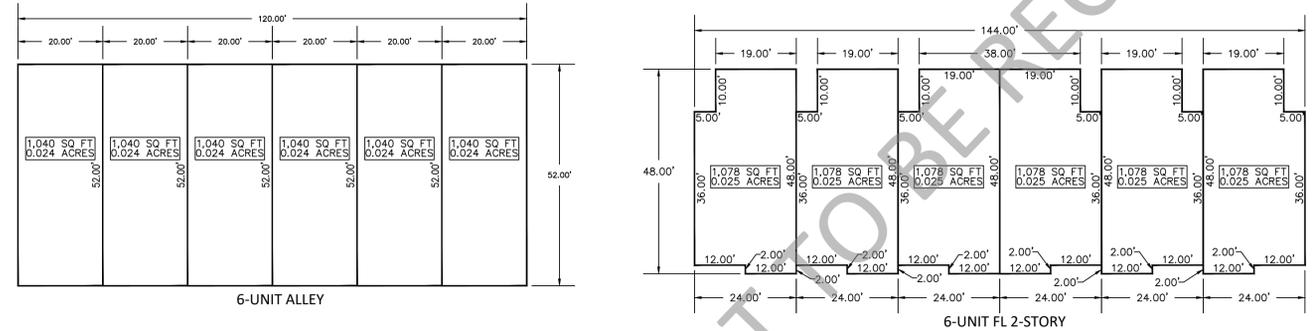
**WESTERN ACRES
TOWNHOMES PHASE 3**
PRELIMINARY PLAT - A RESIDENTIAL SUBDIVISION
LOCATED IN THE WEST HALF OF SECTION 15,
TOWNSHIP 3 SOUTH, RANGE 4 WEST, SALT LAKE BASE
AND MERIDIAN
TOOELE CITY, TOOELE COUNTY, UTAH
SHEET 3 OF 4



ADDRESS TABLES

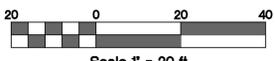
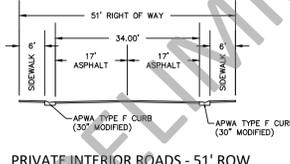
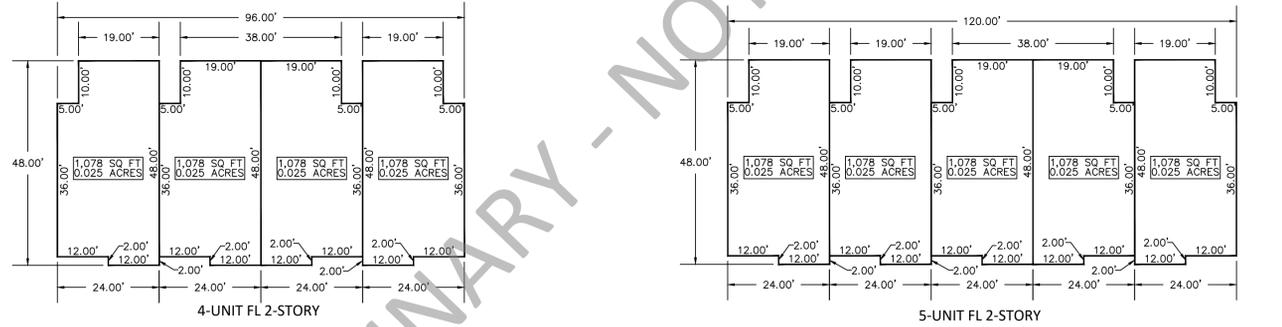
UNIT #	ADDRESS	UNIT #	ADDRESS	UNIT #	ADDRESS
LOT 101	1764 COPPER CANYON DRIVE	UNIT 1307	1678 COPPER CANYON DRIVE	UNIT 1356	1560 N BLACK GOLD AVE
	1757 N BROADWAY AVE	UNIT 1308	1672 COPPER CANYON DRIVE	UNIT 1357	1562 N BLACK GOLD AVE
LOT 102	1718 N OLD LOON AVE	UNIT 1309	1668 COPPER CANYON DRIVE	UNIT 1358	1566 N BLACK GOLD AVE
	1748 COPPER CANYON DRIVE	UNIT 1310	1666 COPPER CANYON DRIVE	UNIT 1359	1578 N BLACK GOLD AVE
LOT 103	1710 N OLD LOON AVE	UNIT 1311	1662 COPPER CANYON DRIVE	UNIT 1360	1582 N BLACK GOLD AVE
LOT 104	1706 N OLD LOON AVE	UNIT 1312	1658 COPPER CANYON DRIVE	UNIT 1361	1586 N BLACK GOLD AVE
LOT 105	1700 N OLD LOON AVE	UNIT 1313	1654 COPPER CANYON DRIVE	UNIT 1362	1590 N BLACK GOLD AVE
LOT 106	1699 N OLD LOON AVE	UNIT 1314	1609 N BLACK GOLD AVE	UNIT 1363	1594 N BLACK GOLD AVE
LOT 107	1672 N OLD LOON AVE	UNIT 1315	1605 N BLACK GOLD AVE	UNIT 1364	1600 N BLACK GOLD AVE
LOT 108	1666 N OLD LOON AVE	UNIT 1316	1603 N BLACK GOLD AVE	UNIT 1365	1606 N BLACK GOLD AVE
LOT 109	1658 N OLD LOON AVE	UNIT 1317	1597 N BLACK GOLD AVE	UNIT 1366	1612 N BLACK GOLD AVE
LOT 110	1652 N OLD LOON AVE	UNIT 1318	1593 N BLACK GOLD AVE	UNIT 1367	1614 N BLACK GOLD AVE
LOT 111	1646 N OLD LOON AVE	UNIT 1319	1589 N BLACK GOLD AVE	UNIT 1368	1618 N BLACK GOLD AVE
LOT 112	1638 N OLD LOON AVE	UNIT 1320	1583 N BLACK GOLD AVE	UNIT 1369	1622 N BLACK GOLD AVE
LOT 113	1632 N OLD LOON AVE	UNIT 1321	1577 N BLACK GOLD AVE	UNIT 1370	1626 N BLACK GOLD AVE
LOT 114	1624 N OLD LOON AVE	UNIT 1322	1575 N BLACK GOLD AVE	UNIT 1371	1640 N BLACK GOLD AVE
LOT 115	1618 N OLD LOON AVE	UNIT 1323	1571 N BLACK GOLD AVE	UNIT 1372	1644 N BLACK GOLD AVE
LOT 116	1612 N OLD LOON AVE	UNIT 1324	1569 N BLACK GOLD AVE	UNIT 1373	1648 N BLACK GOLD AVE
LOT 117	1604 N OLD LOON AVE	UNIT 1325	1565 N BLACK GOLD AVE	UNIT 1374	1650 N BLACK GOLD AVE
LOT 118	1594 N OLD LOON AVE	UNIT 1326	1561 N BLACK GOLD AVE	UNIT 1375	1649 N OLD LOON AVE
LOT 119	1586 N OLD LOON AVE	UNIT 1327	1557 N BLACK GOLD AVE	UNIT 1376	1645 N OLD LOON AVE
LOT 120	1578 N OLD LOON AVE	UNIT 1328	1553 N BLACK GOLD AVE	UNIT 1377	1639 N OLD LOON AVE
LOT 121	1566 N OLD LOON AVE	UNIT 1329	1549 N BLACK GOLD AVE	UNIT 1378	1635 N OLD LOON AVE
LOT 122	1558 N OLD LOON AVE	UNIT 1330	1547 N BLACK GOLD AVE	UNIT 1379	1631 N OLD LOON AVE
LOT 123	1552 N OLD LOON AVE	UNIT 1331	1541 N BLACK GOLD AVE	UNIT 1380	1627 N OLD LOON AVE
LOT 124	1546 N OLD LOON AVE	UNIT 1332	1537 N BLACK GOLD AVE	UNIT 1381	1619 N OLD LOON AVE
LOT 125	1540 N OLD LOON AVE	UNIT 1333	1533 N BLACK GOLD AVE	UNIT 1382	1615 N OLD LOON AVE
LOT 126	1532 N OLD LOON AVE	UNIT 1334	1529 N BLACK GOLD AVE	UNIT 1383	1611 N OLD LOON AVE
LOT 127	1522 N OLD LOON AVE	UNIT 1335	1525 N BLACK GOLD AVE	UNIT 1384	1607 N OLD LOON AVE
	323 E 1520 NORTH	UNIT 1336	1521 N BLACK GOLD AVE	UNIT 1385	1603 N OLD LOON AVE
LOT 128	331 E 1520 NORTH	UNIT 1337	1513 N BLACK GOLD AVE	UNIT 1386	1597 N OLD LOON AVE
	1527 N BROADWAY AVE	UNIT 1338	1509 N BLACK GOLD AVE	UNIT 1387	1591 N OLD LOON AVE
LOT 129	334 E 1520 NORTH	UNIT 1339	1505 N BLACK GOLD AVE	UNIT 1388	1587 N OLD LOON AVE
	1509 N BROADWAY AVE	UNIT 1340	1497 N BLACK GOLD AVE	UNIT 1389	1583 N OLD LOON AVE
LOT 130	330 E 1520 NORTH	UNIT 1341	1493 N BLACK GOLD AVE	UNIT 1390	1579 N OLD LOON AVE
LOT 131	328 E 1520 NORTH	UNIT 1342	1489 N BLACK GOLD AVE	UNIT 1391	1577 N OLD LOON AVE
LOT 132	324 E 1520 NORTH	UNIT 1343	1502 N BLACK GOLD AVE	UNIT 1392	1571 N OLD LOON AVE
UNIT 1296	1720 COPPER CANYON DRIVE	UNIT 1344	1504 N BLACK GOLD AVE	UNIT 1393	1567 N OLD LOON AVE
	1717 N OLD LOON AVE	UNIT 1345	1508 N BLACK GOLD AVE	UNIT 1394	1563 N OLD LOON AVE
UNIT 1297	1716 COPPER CANYON DRIVE	UNIT 1346	1512 N BLACK GOLD AVE	UNIT 1395	1559 N OLD LOON AVE
UNIT 1298	1712 COPPER CANYON DRIVE	UNIT 1347	1516 N BLACK GOLD AVE	UNIT 1396	1555 N OLD LOON AVE
UNIT 1299	1708 COPPER CANYON DRIVE	UNIT 1348	1522 N BLACK GOLD AVE	UNIT 1397	1551 N OLD LOON AVE
UNIT 1300	1704 COPPER CANYON DRIVE	UNIT 1349	1526 N BLACK GOLD AVE	UNIT 1398	1547 N OLD LOON AVE
UNIT 1301	1698 COPPER CANYON DRIVE	UNIT 1350	1528 N BLACK GOLD AVE	UNIT 1399	1541 N OLD LOON AVE
UNIT 1302	1696 COPPER CANYON DRIVE	UNIT 1351	1532 N BLACK GOLD AVE	UNIT 1400	1537 N OLD LOON AVE
UNIT 1303	1692 COPPER CANYON DRIVE	UNIT 1352	1536 N BLACK GOLD AVE	UNIT 1401	1533 N OLD LOON AVE
UNIT 1304	1688 COPPER CANYON DRIVE	UNIT 1353	1540 N BLACK GOLD AVE	UNIT 1402	1529 N OLD LOON AVE
UNIT 1305	1684 COPPER CANYON DRIVE	UNIT 1354	1544 N BLACK GOLD AVE	UNIT 1403	1525 N OLD LOON AVE
UNIT 1306	1682 COPPER CANYON DRIVE	UNIT 1355	1558 N BLACK GOLD AVE	UNIT 1404	1521 N OLD LOON AVE

TYPICAL BUILDING DIMENSIONS



CURVE TABLES

CURVE VARIABLE					CURVE TABLE					CURVE TABLE							
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD DISTANCE	CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD DISTANCE	CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD DISTANCE
C161	136.15'	150.00'	52°00'26"	N26°00'13"W	131.53'	C191	139.78'	274.50'	29°10'34"	S14°35'17"E	138.28'	C221	19.12'	974.50'	1°07'26"	N34°47'07"W	19.12'
C162	219.55'	500.00'	25°09'30"	S12°34'45"E	217.79'	C192	49.40'	74.50'	37°59'34"	S18°59'47"W	48.50'	C222	144.13'	974.50'	8°28'27"	N29°59'10"W	144.00'
C163	90.77'	100.00'	52°00'26"	S63°59'47"W	87.69'	C193	75.22'	34.00'	126°45'43"	N63°22'51"W	60.79'	C223	23.26'	974.50'	1°22'04"	N25°03'55"W	23.26'
C164	66.31'	100.00'	37°59'34"	S18°59'47"W	65.10'	C194	33.60'	267.00'	71°2'38"	N32°06'38"W	33.58'	C224	13.49'	175.50'	4°24'16"	S49°48'18"E	13.49'
C165	152.77'	300.00'	29°10'34"	S14°35'17"E	151.12'	C195	62.40'	267.00'	132°3'24"	N21°48'37"W	62.26'	C225	40.09'	175.50'	13°05'14"	S41°03'33"E	40.00'
C166	150.33'	900.00'	9°34'14"	S33°57'41"E	150.16'	C196	62.40'	267.00'	132°3'24"	N08°25'12"W	62.26'	C226	40.09'	175.50'	13°05'14"	S27°58'19"E	40.00'
C167	289.20'	1000.00'	16°34'11"	N30°27'42"W	288.19'	C197	7.50'	267.00'	1°36'35"	N00°55'13"W	7.50'	C227	40.09'	175.50'	13°05'14"	S14°53'04"E	40.00'
C168	87.64'	500.00'	10°02'35"	S69°51'47"W	87.53'	C198	4.22'	525.50'	0°27'36"	N00°13'48"W	4.22'	C228	25.55'	175.50'	8°20'27"	S04°10'14"E	25.53'
C169	53.41'	34.00'	90°00'00"	S07°00'26"E	48.08'	C199	7.36'	525.50'	0°48'11"	S00°51'42"E	7.36'	C229	14.32'	474.50'	1°43'44"	S00°51'52"E	14.32'
C170	159.30'	175.50'	52°00'26"	N26°00'13"W	153.89'	C200	144.45'	525.50'	15°45'00"	S09°08'17"E	144.00'	C230	52.91'	474.50'	6°23'19"	S04°55'23"E	52.88'
C171	208.35'	474.50'	25°09'30"	S12°34'45"E	206.68'	C201	2.38'	525.50'	0°15'33"	S17°08'33"E	2.38'	C231	52.93'	474.50'	6°23'28"	S11°18'47"E	52.90'
C172	51.97'	34.00'	87°34'42"	S68°56'51"E	47.06'	C202	72.33'	525.50'	7°53'10"	S21°12'55"E	72.27'	C232	52.86'	474.50'	6°22'58"	S17°42'00"E	52.83'
C173	69.90'	525.50'	7°37'17"	S71°04'26"W	69.88'	C203	2.40'	34.00'	4°02'44"	N23°08'08"W	2.40'	C233	35.34'	474.50'	4°16'02"	S23°01'29"E	35.33'
C174	53.23'	29.50'	103°23'23"	N23°11'23"E	46.30'	C204	51.01'	34.00'	85°57'16"	N21°51'52"E	46.36'	C234	46.50'	525.50'	5°04'13"	S69°47'54"W	46.49'
C175	53.23'	29.50'	103°23'25"	N53°26'13"W	46.30'	C205	51.01'	34.00'	85°57'16"	S72°10'52"E	46.36'	C235	23.40'	525.50'	2°33'04"	S73°36'32"W	23.40'
C176	57.69'	474.50'	6°58'00"	S71°24'05"W	57.66'	C206	145.01'	1025.50'	8°06'08"	N32°40'00"W	144.89'	C236	26.18'	474.50'	3°09'42"	S73°18'13"W	26.18'
C177	55.23'	34.00'	93°04'35"	S21°22'47"W	49.36'	C207	2.02'	1025.50'	0°06'46"	N36°46'27"W	2.02'	C237	31.51'	474.50'	3°48'17"	S69°49'14"W	31.50'
C178	244.33'	974.50'	14°21'55"	N31°33'50"W	243.69'	C208	34.29'	1025.50'	1°54'58"	N37°47'19"W	34.29'	C238	73.13'	125.50'	33°23'19"	S21°17'55"E	72.10'
C179	154.59'	925.50'	9°34'14"	S33°57'41"E	154.41'	C209	109.81'	874.50'	7°11'40"	S35°08'57"E	109.74'	C239	0.35'	34.00'	0°35'18"	S28°54'35"E	0.35'
C180	165.75'	325.50'	29°10'34"	S14°35'17"E	163.97'	C210	29.07'	874.50'	1°54'16"	S30°36'00"E	29.07'						
C181	83.22'	125.50'	37°59'34"	S18°59'47"W	81.70'	C211	7.20'	874.50'	0°28'18"	S29°24'43"E	7.20'						
C182	80.46'	125.50'	36°44'02"	S56°21'35"W	79.09'	C212	89.29'	274.50'	18°38'15"	S19°51'27"E	88.90'						
C183	66.02'	34.00'	111°15'16"	N19°05'58"E	56.13'	C213	35.76'	274.50'	7°27'50"	S06°48'24"E	35.73'						
C184	33.64'	124.50'	15°28'46"	N44°16'03"W	33.53'	C214	14.73'	274.50'	3°04'29"	S01°32'15"E	14.73'						
C185	53.41'	34.00'	90°00'00"	S82°59'34"W	48.08'	C215	10.48'	125.50'	4°46'59"	S72°20'07"W	10.47'						
C186	230.75'	525.50'	25°09'30"	S12°34'45"E	228.90'	C216	69.99'	125.50'	31°57'04"	S53°58'06"W	69.08'						
C187	53.41'	34.00'	90°00'00"	N19°50'30"E	48.08'	C217	60.74'	925.50'	3°45'37"	S31°03'22"E	60.73'						
C188	51.36'	34.00'	86°32'34"	S71°53'13"E	46.61'	C218	7.63'	925.50'	0°28'20"	S33°10'20"E	7.63'						
C189	181.33'	1025.50'	10°07'51"	N33°40'52"W	181.09'	C219	86.23'	925.50'	5°20'18"	S36°04'39"E	86.20'						
C190	146.07'	874.50'	9°34'14"	S33°57'41"E	145.90'	C220	57.82'	974.50'	3°23'58"	N37°02'49"W	57.81'						



Scale 1" = 20 ft

UNITS	BUILDING TYPE
1296-1301	6-UNIT ALLEY
1302-1307	6-UNIT ALLEY
1308-1313	6-UNIT ALLEY
1314-1319	6-UNIT FL 2-STORY
1320-1324	5-UNIT FL 2-STORY
1325-1330	6-UNIT FL 2-STORY
1331-1336	6-UNIT FL 2-STORY
1337-1342	6-UNIT FL 2-STORY
1343-1348	6-UNIT FL 2-STORY
1349-1354	6-UNIT FL 2-STORY
1355-1358	4-UNIT FL 2-STORY
1359-1364	6-UNIT FL 2-STORY
1365-1370	6-UNIT FL 2-STORY
1371-1374	4-UNIT FL 2-STORY
1375-1380	6-UNIT FL 2-STORY
1381-1386	6-UNIT FL 2-STORY
1387-1392	6-UNIT FL 2-STORY
1393-1398	6-UNIT FL 2-STORY
1399-1404	6-UNIT FL 2-STORY



**WESTERN ACRES
TOWNHOMES PHASE 3**
PRELIMINARY PLAT - A RESIDENTIAL SUBDIVISION
LOCATED IN THE WEST HALF OF SECTION 15,
TOWNSHIP 3 SOUTH, RANGE 4 WEST, SALT LAKE BASE
AND MERIDIAN
TOOELE CITY, TOOELE COUNTY, UTAH
SHEET 4 OF 4

Tooele City Planning Commission
Business Meeting Minutes

Date: June 25, 2025

Time: 7:00 p.m.

Place: Tooele City Hall, Council Chambers
90 North Main Street, Tooele, Utah

Planning Commissioners Present

Matt Robinson
Melanie Hammer
Jon Proctor
Chris Sloan
Tyson Hamilton
Weston Jensen
Kelley Anderson
Alison Dunn (Alternate)
Jon Gossett (Alternate)

Council Member Liaisons

Maresa Manzione
Ed Hansen (excused)

Staff Present

Andrew Aagard, Community Development Director
Matt Johnson Assistant City Attorney
Paul Hansen, City Engineer

Minutes Prepared by Alicia Fairbourne

1. Pledge of Allegiance

Chairman Robinson called the meeting to order at 7:00 p.m. and led the Pledge of Allegiance.

2. Roll Call

Matt Robinson, Present
Melanie Hammer, Present
Jon Proctor, Present
Chris Sloan, Present
Tyson Hamilton, Present
Weston Jensen, Present
Kelley Anderson, Present

3. Public Hearing and Decision on a Conditional Use Permit request by Happy Place Daycare, a home-based daycare business, to authorize the care of 8 to 16 children at the home located at 647 East 908 North in the R1-7 Residential zoning district on .20 acres.

Mr. Aagard presented the staff report regarding a conditional use permit request by Happy Place Daycare. Mr. Aagard explained that the request applied to a 0.20-acre property located at 647 East 980 North in the R1-7 Residential zoning district. He stated that the applicant sought approval to operate a home daycare serving 8 to 16 children, which required Planning Commission approval under Tooele City Code.

Mr. Aagard described the surrounding zoning and land use, emphasizing that the area was predominantly single-family residential. He noted that daycares differ from preschools in that they typically feature staggered drop-off and pick-up schedules rather than set sessions, potentially reducing traffic congestion at peak times. He showed images of the property, indicating available parking space in the driveway and along the frontage, and confirmed the backyard was enclosed with a six-foot solid vinyl fence.

Staff recommended approval of the permit with one condition: that the applicant instruct clients to avoid blocking mailboxes and driveways and enforce the parking plan accordingly. Mr. Aagard stated this condition would enable enforcement if issues arose. He also confirmed that public notices were sent to surrounding property owners and that two written comments were received—one from Heygly Gonzalez and another from Patrick Ciervo—both expressing concerns about the proposed use.

There being no questions from the Commission, at 7:02 p.m. Chairman Robinson opened the public hearing.

Patrick Ciervo, a neighboring resident, summarized his previously submitted email. He expressed concerns about increased traffic, liability related to pedestrian safety, noise levels, trash collection disruptions, property maintenance, and the difference between a daycare and a preschool. He questioned the accuracy of the site images and expressed concern that the increased foot traffic could create additional liability for neighboring property owners, particularly during snow and ice conditions. He also encouraged the Commission to review the applicant's business plan.

There being no further comments from the public, Chairman Robinson closed the floor at 7:08 p.m. and invited the applicant, Ms. Tina Will, to respond. Ms. Will stated she had lived in the home for approximately three and a half weeks and had ongoing plans to improve the property, including adding concrete parking areas and landscaping the backyard. She confirmed that pickup and drop-off would be limited to two families at a time for safety reasons and that she had made arrangements for snow removal. She addressed concerns about noise and explained that outdoor play would be limited to two 30-minute sessions daily, weather permitting. She affirmed her extensive experience in child care and emphasized that the daycare would follow a structured schedule and curriculum. Ms. Will noted she planned to obtain city licensing and participate in a state-recognized food and curriculum program.

Commissioner Sloan inquired whether the condition included in the staff recommendation would provide adequate enforcement authority. Mr. Aagard confirmed that the language would be sufficient.

Motion: Commissioner Proctor moved to approve the Conditional Use Permit request by Tina Will, to authorize the use of a Child Care and Preschool involving eight to sixteen children to occur at 647 East 980 North, application number 2025056, based on the findings and subject to the conditions listed in the Staff Report dated June 19, 2025. Commissioner Hamilton made the second. The vote was as follows: Commissioner Hammer, "Aye"; Commissioner Proctor, "Aye"; Commissioner Sloan, "Aye"; Commissioner Hamilton, "Aye"; Commissioner Jensen, "Aye"; Commissioner Anderson, "Aye"; Chairman Robinson, "Aye". There were none opposed.

4. City Council Reports

Councilwoman Manzione reported that the City Council approved the upcoming fiscal year’s budget, which was balanced as required by law. She noted that the City did not raise taxes and that the certified tax rate would decrease by approximately 3.5%, although this did not account for fluctuations in home values. The Council also approved the final budget for the previous fiscal year. Additionally, the Council approved the rezone of property at 249 East 1000 North to Light Industrial, as previously reviewed by the Planning Commission. Councilwoman Manzione also shared that restrooms had been approved for installation at Gleneagles Park and Veterans Park, noting they were long overdue and expected to result in long-term savings for the City.

5. Review and Decision – Minutes of the Planning Commission meeting held June 11, 2025.

There were no corrections to the minutes.

Motion: Commissioner Jensen moved to approve the June 11, 2025 minutes as presented. Commissioner Hamilton made the second. The vote was as follows: Commissioner Hammer, “Aye”; Commissioner Proctor, “Aye”; Commissioner Sloan, “Aye”; Commissioner Hamilton, “Aye”; Commissioner Jensen, “Aye”; Commissioner Anderson, “Aye”; Chairman Robinson, “Aye”. There were none opposed.

6. Adjourn

There being no further business. Chairman Robinson adjourned the meeting at 7:18 p.m.

Note: The content of the minutes is not intended, nor submitted, as a verbatim transcription of the meeting. These minutes are a brief overview of what occurred at the meeting.

Approved this _____ day of July, 2025

Matt Robinson, Tooele City Planning Commission Chair